

CITY OF BONITA SPRINGS  
ZONING RESOLUTION NO. 21-03

A ZONING RESOLUTION OF THE CITY OF BONITA SPRINGS, FLORIDA; CONSIDERING A REQUEST FOR A SPECIAL EXCEPTION WITHIN THE US 41 OVERLAY TO ALLOW A VEHICLE AND EQUIPMENT DEALER GROUP II AND III USE ON APPROXIMATELY 11+/- ACRES WITHIN AN EXISTING COMMERCIAL PLANNED DEVELOPMENT ZONING DISTRICT; LOCATED AT 28450 SOUTH TAMIAMI TRAIL, BONITA SPRINGS, FL 34134; PROVIDING FOR AN EFFECTIVE DATE

**WHEREAS**, Bonita Springs City Council adopted Zoning Ordinance No. 15-27, establishing the U.S. 41 Overlay District to guide future growth and redevelopment along U.S. 41 in a manner that maintains the aesthetic quality of the corridor, makes efficient use of public infrastructure, and balances automobile-oriented patterns with pedestrian development with the intent to limit strip commercial development; and

**WHEREAS**, the U.S. 41 Overlay District requires that certain uses otherwise permitted by a property's underlying zoning are required to obtain a special exception pursuant to Section 4-891 of the land development code ("LDC"); and

**WHEREAS**, a Public Hearing was advertised and heard on May 18, 2021 by the City of Bonita Springs Board for Land Use Hearings and Adjustments and Zoning Board of Appeals ("Zoning Board") on Case SPE20-75828-BOS who unanimously recommended approval after giving full and complete consideration of the record, consisting of the Staff Recommendation, the documents on file with the City and the testimony of all parties; and

**WHEREAS**, City Council at their June 16, 2021 zoning meeting considered the record of the Zoning Board on Case SPE20-75828-BOS, as well as a transcript of the Zoning Board hearing submitted as part of the City Council hearing record, and gave full consideration of the Staff Recommendation, the evidence and testimony, including the expert opinion of the Applicant, Tom, Dehn.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Bonita Springs, Lee County, Florida:

**SECTION ONE: APPROVAL OF REQUEST**

City Council of Bonita Springs hereby approves the request for a special exception with the following conditions:

Conditions:

1. The special exception will be valid for this specific application only.
2. The site will be developed generally consistent with the attached site plan (Attachment A) and landscape plan (Attachment B), and all outdoor display areas are to be located on the east side of the existing building.
3. Any testing or test drives of inventory shall **not** be permitted on the west side of the building, closest to the existing residential neighborhood.
4. The City of Bonita Springs Noise Control Ordinance shall govern associated noise from the project, but with the following modification:
  - a. Noise measurements that are taken in response to a documented noise complaint that is the result of activity by Power Lodge shall be taken from the property line of the subject property, in the direction closest to the origination of the complaint.
5. Additional changes not covered by this approval may require additional approvals or hearings, as outlined in the Land Development Code.
6. Unless modified by this approval, the property shall be developed consistent with the regulations of the Land Development Code and the US 41 Overlay.

Findings and Conclusions:

Based upon an analysis of the application and the standards for approval of special exception, Bonita Springs City Council makes the following findings and conclusions:

1. The Applicant has proven entitlement for the requested special exception by demonstrating compliance with the Bonita Springs Comprehensive Plan; and
2. The Applicant has specifically proven:
  - i. Consistency with the intent of the U.S. 41 Overlay District in protecting and enhancing viewsheds from U.S. 41 and other public roadways.
  - ii. The building and site design standards incorporate innovative techniques to address the project's visual impact on the U.S. 41 corridor and demonstrate enhancements to the minimum standards.



- iii. The request addresses the balance between auto-oriented design and pedestrian access through enhanced design standards.
- iv. Exceptional or extraordinary conditions exist which warrant the proposed use, including but not limited to demonstrated market demand and a variance was granted with regard to minimum spatial separation of 500 feet from a similar use.
- v. Will not be injurious to the neighborhood or otherwise detrimental to the public welfare.
- vi. Will be compatible with existing or planned uses.
- vii. Will not cause damage, hazard, nuisance or other detriment to persons or property.
- viii. Will protect, conserve or preserve environmentally critical areas and natural resources.
- ix. Consistency with the goals, objectives, policies and intent of the Bonita Plan.
- x. In compliance with all general zoning provisions, supplemental regulations and performance standards pertaining to the use set forth in this chapter.

**SECTION TWO: EFFECTIVE DATE**

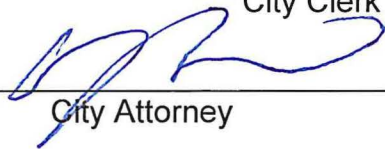
This Resolution shall take effect immediately upon adoption.

**DULY PASSED AND ENACTED** by the City Council of the City of Bonita Springs, Lee County, Florida, this 16th day of June, 2021.

AUTHENTICATION:



  
 \_\_\_\_\_
   
 Mayor City Clerk

APPROVED AS TO FORM:


  
 \_\_\_\_\_
   
 City Attorney

Vote:

Carr	Aye	Corrie	Aye
Purdon	Aye	Quaremba	Aye
Forbes	Aye	Steinmeyer	May
Gibson	Aye		

Date filed with City Clerk: 6/16/2021

9



THIS LOT SPLIT APPROVAL IS FOR  
RECOMBINATION OF LOTS AS NOTED HEREIN

INSTR # 5906824  
 Official Records BK 04005 PG 3591  
 RECORDED 07/25/2003 03:52:11 PM  
 CHARLIE GREEN, CLERK OF COURT  
 LEE COUNTY  
 RECORDING FEE 42.00  
 DEPUTY CLERK D Schaefer

**NOTICE OF LOT SPLIT APPROVAL**

Lee County hereby gives notice of approval of a lot split pursuant to Section 10-217 of the Lee County Land Development Code, upon the following property:

04-48-25-B2-01800.0040;04-48-25-B3-180B.0010

(Clerk Of Court Use

Only)

The property owner and applicant for the lot split approval is **DEVOE FAMILY L. P.** A reduced copy of the approved site plan is attached to this notice as "Exhibit A". For further details on this matter, any interested person should refer to file # **LDO2003-00231** located in the offices of the Lee County Development Services Division.

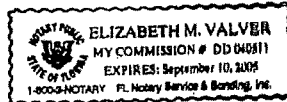
Peter J. Eckenrode  
Director  
Development Services Division

State of Florida  
County of Lee

The foregoing Instrument was acknowledged before me this 23 day of July 2003 by Peter J. Eckenrode, who is personally known to me, and who did not take an oath.

  
Notary Public, State of Florida

Elizabeth M. Valver  
Printed Name



My commission expires \_\_\_\_\_

This instrument prepared by and to be returned to:

Lee County Development Services  
Division  
1500 Monroe Street  
Fort Myers, FL 33901

**EXHIBIT: D**

**LEGAL DESCRIPTION**

ALL OF LOT 5 AND A PORTION OF TRACT "B" OF WOODS EDGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 49 AT PAGES 50 THROUGH 56 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

**BEGIN** AT THE SOUTHEAST CORNER OF TRACT "B" OF WOODS EDGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 49 AT PAGES 50 THROUGH 56 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA, THE SAME BEING THE INTERSECTION OF THE WESTERLY RIGHT-OF-WAY LINE OF THE TAMiami TRAIL (STATE ROAD NO. 45, U.S. 41) AND THE CENTERLINE OF LAKE SHORE DRIVE OF SAID WOODS EDGE PLAT; THENCE RUN SOUTH 85°58'00" WEST, ALONG THE SOUTHERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 16.27 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE CONCAVE SOUTH; THENCE RUN WESTERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, THE SAME BEING THE SOUTHERLY LINE OF SAID TRACT "B", HAVING A RADIUS OF 350.00 FEET, THROUGH A CENTRAL ANGLE OF 16°35'45", SUBTENDED BY A CHORD OF 101.02 FEET AT A BEARING OF SOUTH 77°40'08" WEST, FOR AN ARC LENGTH OF 101.38 FEET TO A POINT OF REVERSE CURVATURE; THENCE RUN WESTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, THE SAME BEING THE SOUTHERLY LINE OF SAID TRACT "B", HAVING A RADIUS OF 400.00 FEET, THROUGH A CENTRAL ANGLE OF 28°12'26", SUBTENDED BY A CHORD OF 194.94 FEET AT A BEARING OF SOUTH 83°28'28" WEST, FOR AN ARC LENGTH OF 196.92 FEET TO A POINT OF COMPOUND CURVATURE; THENCE RUN WESTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, THE SAME BEING THE SOUTHERLY LINE OF SAID TRACT "B", HAVING A RADIUS OF 300.00 FEET, THROUGH A CENTRAL ANGLE OF 17°42'32", SUBTENDED BY A CHORD OF 92.35 FEET AT A BEARING OF NORTH 73°34'03" WEST, FOR AN ARC LENGTH OF 92.72 FEET TO THE END OF SAID CURVE; THENCE RUN NORTH 64°42'47" WEST, ALONG THE SOUTHERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 117.36 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE CONCAVE SOUTH; THENCE RUN WESTERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, THE SAME BEING THE SOUTHERLY LINE OF SAID TRACT "B", HAVING A RADIUS OF 400.00 FEET, THROUGH A CENTRAL ANGLE OF 07°48'27", SUBTENDED BY A CHORD OF 54.46 FEET AT A BEARING OF NORTH 68°37'00" WEST, FOR AN ARC LENGTH OF 54.51 FEET TO THE END OF SAID CURVE, THE SAME BEING THE SOUTHWEST CORNER OF SAID TRACT "B"; THENCE RUN NORTH 02°30'19" WEST, ALONG THE WESTERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 38.19 FEET; THENCE RUN NORTH 33°30'19" WEST, ALONG THE WESTERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 150.00 FEET; THENCE RUN NORTH 02°30'19" WEST, ALONG THE WESTERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 400.00 FEET; THENCE RUN NORTH 39°42'06" EAST FOR A DISTANCE OF 339.43 FEET; THENCE RUN NORTH 00°35'42" WEST, ALONG THE WESTERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 39.15 FEET TO THE NORTHEAST CORNER OF TRACT "N" OF SAID WOODS EDGE; THENCE RUN NORTH 89°33'06" EAST, ALONG THE NORTHERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 72.17 FEET; THENCE RUN SOUTH 00°26'54" EAST, FOR A DISTANCE OF 9.00 FEET; THENCE RUN NORTH 89°33'06" EAST, FOR A DISTANCE OF 123.68 FEET; THENCE RUN NORTH 00°26'54" WEST, FOR A DISTANCE OF 9.00 FEET; THENCE RUN NORTH 89°33'06" EAST, ALONG THE NORTHERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 64.15 FEET; THENCE RUN NORTH 48°33'42" EAST, ALONG THE NORTHERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 47.67 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE EAST, WHOSE RADIUS POINT BEARS NORTH 48°33'52" EAST, A DISTANCE OF 170.00 FEET THEREFROM; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, THE SAME BEING THE NORTHERLY LINE OF SAID TRACT "B", HAVING A RADIUS OF 170.00 FEET, THROUGH A CENTRAL ANGLE OF 38°55'49", SUBTENDED BY A CHORD OF 113.30 FEET AT A BEARING OF NORTH 21°58'13" WEST, FOR AN ARC LENGTH OF 115.51 FEET TO THE END OF SAID CURVE; THENCE RUN NORTH 02°30'19" WEST FOR A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTHERLY LINE OF TRACT "O" OF SAID WOODS EDGE; THENCE RUN NORTH 87°29'41" EAST, ALONG THE NORTHERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 40.00 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE SOUTHEAST, WHOSE RADIUS POINT BEARS NORTH 87°29'41" EAST, A DISTANCE OF 30.00 FEET THEREFROM; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, THE SAME BEING THE NORTHERLY LINE OF SAID TRACT "B" HAVING A RADIUS OF 30.00 FEET, THROUGH A CENTRAL ANGLE OF 90°00'00", SUBTENDED BY A CHORD OF 42.43 FEET AT A BEARING OF NORTH 42°29'41" EAST, FOR AN ARC LENGTH OF 47.12 FEET TO THE END OF SAID CURVE; THENCE RUN NORTH 87°29'41" EAST, ALONG THE NORTHERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 70.01 FEET TO THE NORTHEAST CORNER OF SAID TRACT "B", THE SAME BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE TAMiami TRAIL (STATE ROAD NO. 45, U.S. 41); THENCE RUN SOUTH 02°30'19" EAST, ALONG THE EASTERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 1,120.18 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED, CONTAINING 12.816 ACRES, MORE OR LESS.

**SUBJECT TO:**

ALL OF THE ROADWAY EASEMENT WITHIN TRACT "B" OF WOODS EDGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 49 AT PAGES 50 THROUGH 56 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA, CONTAINING 1.516 ACRES, MORE OR LESS.

THIS PROPERTY IS SUBJECT TO EASEMENTS, RESERVATIONS AND/OR RESTRICTIONS OF RECORD.

BEARINGS REFER TO WOODS EDGE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 49, PAGES 50 THROUGH 56, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

Q. GRADY MINOR AND ASSOCIATES, P.A.

SIGNED 6-30-03

*[Signature]*  
STEPHEN V. BURGESS

P.S.M. #6408  
STATE OF FLORIDA

DRAWN BY: CDB      SHEET: 1 OF 3      JOB CODE: DV44

**LEGAL DESCRIPTION**

LOT 5 AND A PORTION OF TRACT "B" WOODS EDGE  
(PLAT BOOK 49, PAGES 50-56)  
SECTION 4, TOWNSHIP 48 SOUTH, RANGE 25 EAST  
BONITA SPRINGS, LEE COUNTY, FLORIDA

DATE: JUNE 2003      DRAWING: B-2617

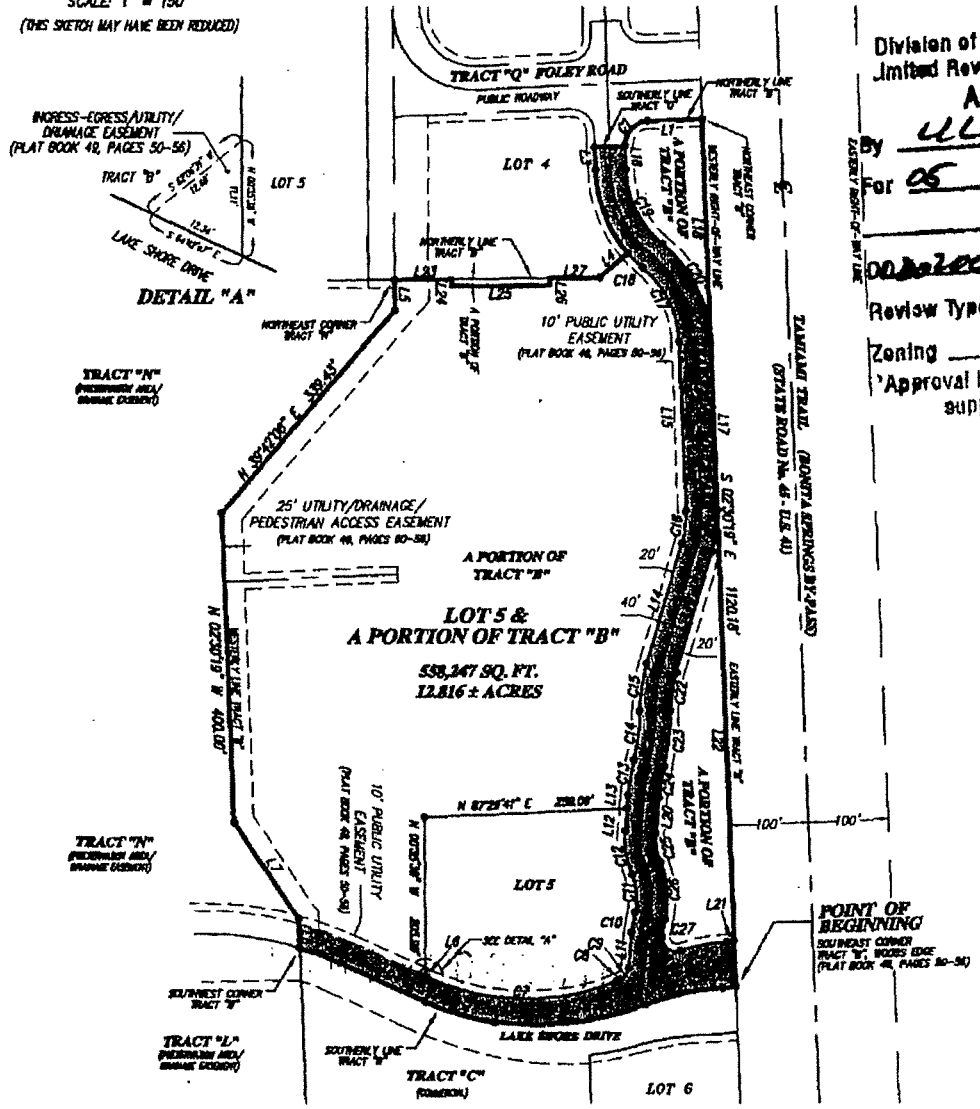


**Q. GRADY MINOR AND ASSOCIATES, P.A.**  
CIVIL ENGINEERS ■ LAND SURVEYORS ■ PLANNERS  
3800 VIA DEL REY  
BONITA SPRINGS, FLORIDA 34134

PHONE: (239) 947-1144      FAX: (239) 947-0375  
CERTIFICATE OF AUTHORIZATION NUMBER LB 5151

**LOT 5 AND A PORTION OF TRACT "B"**  
**WOODS EDGE**  
**PLAT BOOK 49, PAGES 50-56**

0' 75' 150'  
 SCALE: 1" = 150'  
 (THIS SKETCH MAY HAVE BEEN REDUCED)



Division of Development Services  
 Limited Review Development Order  
**APPROVED**  
 By LL Date 7-11-03  
 For 05  
00002003-0032  
 Review Type Lot Split  
 Zoning FE.M.A.  
 Approval based on site information supplied by applicant.

**NOTES**

1. BEARINGS SHOWN HEREON REFER TO WOODS EDGE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 49, PAGES 50 THROUGH 56, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.
2. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
3. THIS PROPERTY IS SUBJECT TO EASEMENTS, RESERVATIONS AND/OR RESTRICTIONS OF RECORD.

**\* THIS IS NOT A SURVEY \***

DRAWN BY: CDB    SHEET: 2 OF 3    JOB CODE: DV4A

**Q. GRADY MINOR AND ASSOCIATES, P.A.**  
 CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS  
 3800 VIA DEL REY  
 BONITA SPRINGS, FLORIDA 34134  
 PHONE: (239) 947-1144    FAX: (239) 947-0375  
 CERTIFICATE OF AUTHORIZATION NUMBER LB 6161

**SKETCH TO ACCOMPANY**  
 LOT 5 AND A PORTION OF TRACT "B", WOODS EDGE  
 (PLAT BOOK 49, PAGES 50-56)  
 SECTION 4, TOWNSHIP 48 SOUTH, RANGE 26 EAST  
 BONITA SPRINGS, LEE COUNTY, FLORIDA  
 DATE: JUNE 2003    DRAWING: B-2617

Official Records BK 04005 PG 3593

EXHIBIT: D

# LOT 5 AND A PORTION OF TRACT "B" WOODS EDGE PLAT BOOK 49, PAGES 50-56

## DIMENSION SHEET

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 87°29'41" E	70.01'
L2	N 87°29'41" E	40.00'
L3	N 02°30'19" W	30.01'
L4	N 48°33'42" E	47.67'
L5	N 00°35'42" W	39.15'
L6	N 64°42'47" W	2.21'
L7	N 33°30'19" W	150.00'
L8	N 02°30'19" W	38.19'
L9	N 64°42'47" W	117.36'
L10	S 85°58'00" W	16.27'
L11	N 04°29'51" E	46.99'
L12	N 04°35'28" E	29.11'
L13	N 04°35'28" E	17.33'
L14	N 15°58'03" E	161.48'
L15	N 02°30'19" W	218.18'
L16	S 02°30'19" E	30.01'
L17	S 02°30'19" E	218.18'
L18	S 02°30'18" E	283.62'
L19	N 15°58'03" E	161.48'
L20	N 04°35'28" E	46.44'
L21	S 85°58'00" W	8.89'
L22	S 02°30'21" E	559.35'
L23	N 89°33'06" E	72.17'
L24	S 00°26'54" E	9.00'
L25	N 89°33'06" E	123.68'
L26	N 00°26'54" W	9.00'
L27	N 89°33'06" E	64.15'

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	30.00'	47.12'	90°00'00"	42.43'	N 42°29'41" E
C2	170.00'	115.51'	38°55'49"	113.30'	N 21°58'13" W
C3	400.00'	54.51'	07°48'27"	54.46'	N 68°37'00" W
C4	300.00'	92.72'	17°42'32"	92.35'	N 73°34'03" W
C5	400.00'	196.92'	28°12'26"	194.94'	S 83°28'28" W
C6	350.00'	101.38'	16°35'45"	101.02'	S 77°40'08" W
C7	300.00'	250.14'	47°46'26"	242.96'	S 88°36'00" E
C8	242.00'	4.76'	01°07'39"	4.76'	N 66°56'57" E
C9	18.00'	19.44'	61°53'17"	18.51'	N 35°26'29" E
C10	170.00'	25.86'	08°43'02"	25.84'	N 08°51'22" E
C11	80.00'	50.48'	36°09'09"	49.65'	N 04°51'42" W
C12	120.00'	57.66'	27°31'44"	57.10'	N 09°10'24" W
C13	320.00'	46.78'	08°22'35"	46.74'	N 08°46'45" E
C14	280.00'	63.82'	13°03'30"	63.68'	N 06°26'18" E
C15	220.00'	61.66'	16°03'30"	61.46'	N 07°56'18" E
C16	130.00'	41.91'	18°28'22"	41.73'	N 06°43'52" E
C17	130.00'	109.34'	48°11'23"	106.14'	N 26°36'00" W
C18	170.00'	27.47'	09°15'34"	27.44'	N 46°03'55" W
C19	130.00'	109.34'	48°11'23"	106.14'	S 26°36'00" E
C20	170.00'	142.98'	48°11'23"	138.80'	S 26°36'00" E
C21	170.00'	54.81'	18°28'22"	54.57'	N 06°43'52" E
C22	180.00'	50.45'	16°03'30"	50.28'	N 07°56'18" E
C23	320.00'	72.93'	13°03'30"	72.77'	N 06°26'18" E
C24	280.00'	40.93'	08°22'35"	40.90'	N 08°46'45" E
C25	80.00'	38.44'	27°31'44"	38.07'	N 09°10'24" W
C26	120.00'	75.72'	36°09'09"	74.47'	N 04°51'42" W
C27	130.00'	19.78'	08°43'02"	19.76'	N 08°51'22" E
C28	18.00'	35.42'	112°45'06"	29.98'	N 51°52'42" W
C29	242.00'	60.06'	14°13'15"	59.91'	S 78°51'23" W

SHEET: 3 OF 3  
 APPROVED: S.F.E.  
 DRAWN: C.D.R.  
 JOB CODE: DP44



**Q. GRADY MINOR AND ASSOCIATES, P.A.**  
 CIVIL ENGINEERS - LAND SURVEYORS - PLANNERS  
 5800 VIA DEL REY  
 BONITA SPRINGS, FLORIDA 34134  
 PHONE: (239) 947-1144 FAX: (941) 947-0376  
 CERTIFICATE OF AUTHORIZATION NUMBER LB 6161

**DIMENSION SHEET**  
 LOT 5 AND A PORTION OF TRACT "B", WOODS EDGE  
 (PLAT BOOK 49, PAGES 50-56)  
 SECTION 4, TOWNSHIP 48 SOUTH, RANGE 25 EAST  
 BONITA SPRINGS, LEE COUNTY, FLORIDA  
 DATE: JUNE 2003 DRAWING: B-2617

**EXHIBIT: A**

**PROPERTY DESCRIPTION**

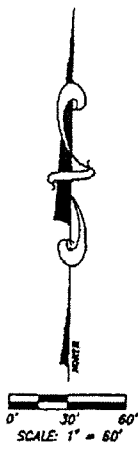
OFFICIAL RECORDS BOOK 3198, PAGES 3398-3399

LOT 4, WOODS EDGE, ACCORDING TO THE PLAT RECORDED IN PLAT BOOK 49, PAGES 50 THROUGH 56, INCLUSIVE, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

MARGIN AT THE SOUTHWEST CORNER OF LOT 4 OF WOODS EDGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 49 AT PAGES 50 THROUGH 56 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA; THENCE RUN NORTH 00°36'29" WEST, ALONG THE WEST LINE OF SAID LOT 4, FOR A DISTANCE OF 207.57 FEET TO THE SOUTHWEST CORNER OF TRACT "Q" OF SAID WOODS EDGE; THENCE RUN NORTH 87°29'41" EAST, ALONG THE SOUTH LINE OF SAID TRACT "Q", FOR A DISTANCE OF 222.28 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE CONCAVE SOUTHWEST; THENCE RUN SOUTHEASTERLY ALONG THE SOUTH LINE OF SAID TRACT "Q" AND THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 30.00 FEET, THROUGH A CENTRAL ANGLE OF 90°00'00", SUBTENDED BY A CHORD OF 42.43 FEET AT A BEARING OF SOUTH 47°30'19" EAST, FOR AN ARC LENGTH OF 47.12 FEET TO THE END OF SAID CURVE; THENCE RUN SOUTH 02°30'19" EAST, ALONG THE SOUTHERLY LINE OF SAID TRACT "Q", FOR A DISTANCE OF 20.00 FEET TO A POINT ON THE WEST LINE OF TRAILS EDGE BOULEVARD, A 40 FOOT WIDE ROADWAY EASEMENT, ACCORDING TO THE PLAT OF WOODS EDGE, RECORDED IN PLAT BOOK 49 AT PAGES 50 THROUGH 56 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA; THENCE CONTINUE SOUTH 02°30'19" EAST, ALONG SAID WEST LINE, FOR A DISTANCE OF 30.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE CONCAVE EAST; THENCE RUN SOUTHERLY ALONG SAID WEST LINE AND THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 170.00 FEET, THROUGH A CENTRAL ANGLE OF 38°56'02", SUBTENDED BY A CHORD OF 113.31 FEET AT A BEARING OF SOUTH 21°58'20" EAST, FOR AN ARC LENGTH OF 115.52 FEET TO THE END OF SAID CURVE, THE SAME BEING A POINT ON THE NORTH LINE OF TRACT "B", WOODS EDGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 49 AT PAGES 50 THROUGH 56 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA; THENCE RUN SOUTH 48°33'42" WEST, ALONG THE NORTH LINE OF SAID TRACT "B", FOR A DISTANCE OF 47.67 FEET; THENCE RUN SOUTH 89°33'06" WEST, ALONG THE NORTH LINE OF SAID TRACT "B", FOR A DISTANCE OF 260.00 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED, CONTAINING 1.284 ACRES, MORE OR LESS.

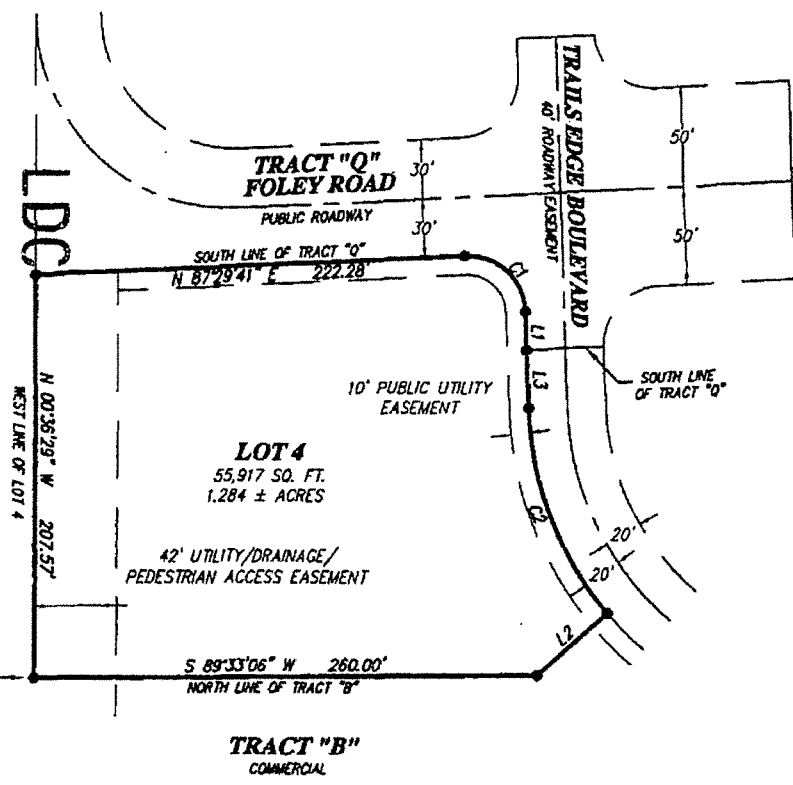
**APPROVED**

JUL 11 2003



(THIS SKETCH MAY HAVE BEEN REDUCED)

LINE	BEARING	DISTANCE
L1	S 02°30'19" E	20.00'
L2	S 48°33'42" W	47.67'
L3	S 02°30'19" E	30.00'



**P.O.B.**  
S.W. CORNER  
LOT 4, WOODS EDGE  
(PLAT BOOK 49, PAGES 50-56)

**TRACT "B"**  
COMMERCIAL

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	30.00'	47.12'	90°00'00"	42.43'	S 47°30'19" E
C2	170.00'	115.52'	38°56'02"	113.31'	S 21°58'20" E

**\* THIS IS NOT A SURVEY \***

Q. GRADY MINOR AND ASSOCIATES, P.A.  
SIGNED 6-30-03  
*Stephen V. Burges*  
STEPHEN V. BURGESS, P.S.M. #6408  
STATE OF FLORIDA

**NOTES**

- BEARINGS SHOWN HEREON REFER TO WOODS EDGE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 49, PAGES 50 THROUGH 56, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.
- DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
- THIS PROPERTY IS SUBJECT TO EASEMENTS, RESERVATIONS AND/OR RESTRICTIONS OF RECORD.

SHEET 1 OF 1  
DRAWN BY: CDB  
JOB CODE: DV4A  
SCALE: 1" = 60'

**Q. GRADY MINOR AND ASSOCIATES, P.A.**  
CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS  
3800 VIA DEL REY  
BONITA SPRINGS, FLORIDA 34134  
PHONE: (239) 947-1144 FAX: (239) 947-0375  
CERTIFICATE OF AUTHORIZATION NUMBER LB 5151

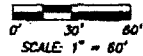
**LEGAL DESCRIPTION AND SKETCH**  
LOT 4, WOODS EDGE  
(PLAT BOOK 49, PAGES 50-56)  
SECTION 4, TOWNSHIP 48, SOUTH, RANGE 25 EAST  
BONITA SPRINGS, LEE COUNTY, FLORIDA  
DATE: JUNE 2003 DRAWING: B-2608

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**APPROVED**

JUL 11 2008



(THIS SKETCH MAY HAVE BEEN REDUCED)

LINE	BEARING	DISTANCE
L1	S 02°30'19" E	20.00'
L2	S 48°33'42" W	47.67'
L3	S 02°30'19" E	30.00'
L4	S 89°33'06" W	64.15'
L5	S 00°26'54" E	9.00'
L6	S 89°33'06" W	123.68'
L7	N 00°26'54" W	9.00'
L8	S 89°33'06" W	72.17'

**P.O.B.**  
S.W. CORNER  
LOT 4, WOODS EDGE  
(PLAT BOOK 49, PAGES 50-56)

**NOTES**

1. BEARINGS SHOWN HEREON REFER TO WOODS EDGE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 49, PAGES 50 THROUGH 56, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.
2. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
3. THIS PROPERTY IS SUBJECT TO EASEMENTS, RESERVATIONS AND/OR RESTRICTIONS OF RECORD.

**TRACT "B"**  
COMMERCIAL

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	30.00'	47.12'	90°00'00"	42.43'	S 47°30'19" E
C2	170.00'	115.52'	38°56'02"	113.31'	S 21°58'20" E

**\* THIS IS NOT A SURVEY \***

SHEET 1 OF 1
DRAWN BY: CDB
JOB CODE: DV4A
SCALE: 1" = 60'



**Q. GRADY MINOR AND ASSOCIATES, P.A.**  
CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS  
3800 VIA DEL REY  
BONITA SPRINGS, FLORIDA 34134  
PHONE: (239) 947-1144 FAX: (239) 947-0376  
CERTIFICATE OF AUTHORIZATION NUMBER LB 5151

<b>LEGAL DESCRIPTION AND SKETCH</b>	
LOT 4 AND A PORTION OF TRACT "B", WOODS EDGE (PLAT BOOK 49, PAGES 50-56)	
SECTION 4, TOWNSHIP 48 SOUTH, RANGE 25 EAST BONITA SPRINGS, LEE COUNTY, FLORIDA	
DATE: JUNE 2008	DRAWING: B-2611

**PROPERTY DESCRIPTION**

ALL OF LOT 4 AND A PORTION OF TRACT "B" OF WOODS EDGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 49, PAGES 50 THROUGH 56, INCLUSIVE, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHWEST CORNER OF LOT 4 OF WOODS EDGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 49 AT PAGES 50 THROUGH 56 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA; THENCE RUN NORTH 00°36'29" WEST, ALONG THE WEST LINE OF SAID LOT 4, FOR A DISTANCE OF 207.57 FEET TO THE SOUTHWEST CORNER OF TRACT "Q" OF SAID WOODS EDGE; THENCE RUN NORTH 87°29'41" EAST, ALONG THE SOUTH LINE OF SAID TRACT "Q", FOR A DISTANCE OF 222.28 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE CONCAVE SOUTHWEST; THENCE RUN SOUTHEASTERLY ALONG THE SOUTH LINE OF SAID TRACT "Q" AND THE ARC OF SAID CURVE TO THE RIGHT, HAVING A RADIUS OF 30.00 FEET, THROUGH A CENTRAL ANGLE OF 90°00'00", SUBTENDED BY A CHORD OF 42.43 FEET AT A BEARING OF SOUTH 47°30'19" EAST, FOR AN ARC LENGTH OF 47.12 FEET TO THE END OF SAID CURVE; THENCE RUN SOUTH 02°30'19" EAST, ALONG THE SOUTHERLY LINE OF SAID TRACT "Q", FOR A DISTANCE OF 20.00 FEET TO A POINT ON THE WEST LINE OF TRAILS EDGE BOULEVARD, A 40 FOOT WIDE ROADWAY EASEMENT, ACCORDING TO THE PLAT OF WOODS EDGE, RECORDED IN PLAT BOOK 49 AT PAGES 50 THROUGH 56 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA; THENCE CONTINUE SOUTH 02°30'19" EAST, ALONG SAID WEST LINE, FOR A DISTANCE OF 30.00 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE CONCAVE EAST; THENCE RUN SOUTHERLY ALONG SAID WEST LINE AND THE ARC OF SAID CURVE TO THE LEFT, HAVING A RADIUS OF 170.00 FEET, THROUGH A CENTRAL ANGLE OF 38°56'02", SUBTENDED BY A CHORD OF 113.31 FEET AT A BEARING OF SOUTH 21°58'20" EAST, FOR AN ARC LENGTH OF 115.52 FEET TO THE END OF SAID CURVE, THE SAME BEING A POINT ON THE NORTH LINE OF TRACT "B", WOODS EDGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 49 AT PAGES 50 THROUGH 56 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA; THENCE RUN SOUTH 48°33'42" WEST, ALONG THE NORTH LINE OF SAID TRACT "B", FOR A DISTANCE OF 47.67 FEET; THENCE RUN SOUTH 89°33'06" WEST, ALONG THE NORTH LINE OF SAID TRACT "B", FOR A DISTANCE OF 64.15 FEET; THENCE RUN SOUTH 00°26'54" EAST FOR A DISTANCE OF 9.00 FEET; THENCE RUN SOUTH 89°33'06" WEST FOR A DISTANCE OF 123.68 FEET; THENCE RUN NORTH 00°26'54" WEST FOR A DISTANCE OF 9.00 FEET TO A POINT ON THE NORTH LINE OF SAID TRACT "B"; THENCE RUN SOUTH 89°33'06" WEST, ALONG THE NORTH LINE OF SAID TRACT "B", FOR A DISTANCE OF 72.17 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED, CONTAINING 1.309 ACRES, MORE OR LESS.

Q. GRADY MINOR AND ASSOCIATES, P.A.

SIGNED 6-30-08

STEPHEN V. BURGESS, P.S.M. #6408  
STATE OF FLORIDA

EXHIBIT: C

### LEGAL DESCRIPTION

ALL OF LOT 5 AND TRACT "B" OF WOODS EDGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 49 AT PAGES 50 THROUGH 56 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGIN AT THE SOUTHEAST CORNER OF TRACT "B" OF WOODS EDGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 49 AT PAGES 50 THROUGH 56 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA, THE SAME BEING THE INTERSECTION OF THE WESTERLY RIGHT-OF-WAY LINE OF THE TAMiami TRAIL (STATE ROAD NO. 45, U.S. 41) AND THE CENTERLINE OF LAKE SHORE DRIVE OF SAID WOODS EDGE PLAT; THENCE RUN SOUTH 85°58'00" WEST, ALONG THE SOUTHERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 16.27 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE CONCAVE SOUTH; THENCE RUN WESTERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, THE SAME BEING THE SOUTHERLY LINE OF SAID TRACT "B", HAVING A RADIUS OF 350.00 FEET, THROUGH A CENTRAL ANGLE OF 16°35'45", SUBTENDED BY A CHORD OF 101.02 FEET AT A BEARING OF SOUTH 77°40'08" WEST, FOR AN ARC LENGTH OF 101.38 FEET TO A POINT OF REVERSE CURVATURE; THENCE RUN WESTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, THE SAME BEING THE SOUTHERLY LINE OF SAID TRACT "B", HAVING A RADIUS OF 400.00 FEET, THROUGH A CENTRAL ANGLE OF 28°12'26", SUBTENDED BY A CHORD OF 194.94 FEET AT A BEARING OF SOUTH 83°28'28" WEST, FOR AN ARC LENGTH OF 195.92 FEET TO A POINT OF COMPOUND CURVATURE; THENCE RUN WESTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, THE SAME BEING THE SOUTHERLY LINE OF SAID TRACT "B", HAVING A RADIUS OF 300.00 FEET, THROUGH A CENTRAL ANGLE OF 17°42'32", SUBTENDED BY A CHORD OF 92.35 FEET AT A BEARING OF NORTH 73°34'03" WEST, FOR AN ARC LENGTH OF 92.72 FEET TO THE END OF SAID CURVE; THENCE RUN NORTH 64°42'47" WEST, ALONG THE SOUTHERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 117.36 FEET TO THE BEGINNING OF A TANGENTIAL CIRCULAR CURVE CONCAVE SOUTH; THENCE RUN WESTERLY ALONG THE ARC OF SAID CURVE TO THE LEFT, THE SAME BEING THE SOUTHERLY LINE OF SAID TRACT "B", HAVING A RADIUS OF 400.00 FEET, THROUGH A CENTRAL ANGLE OF 07°48'27", SUBTENDED BY A CHORD OF 54.46 FEET AT A BEARING OF NORTH 68°37'00" WEST, FOR AN ARC LENGTH OF 54.51 FEET TO THE END OF SAID CURVE, THE SAME BEING THE SOUTHWEST CORNER OF SAID TRACT "B"; THENCE RUN NORTH 02°30'19" WEST, ALONG THE WESTERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 38.19 FEET; THENCE RUN NORTH 33°30'19" WEST, ALONG THE WESTERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 150.00 FEET; THENCE RUN NORTH 02°30'19" WEST, ALONG THE WESTERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 400.00 FEET; THENCE RUN NORTH 39°42'06" EAST FOR A DISTANCE OF 339.43 FEET; THENCE RUN NORTH 00°35'42" WEST, ALONG THE WESTERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 39.15 FEET TO THE NORTHEAST CORNER OF TRACT "N" OF SAID WOODS EDGE; THENCE RUN NORTH 89°33'06" EAST, ALONG THE NORTHERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 260.00 FEET; THENCE RUN NORTH 48°33'42" EAST, ALONG THE NORTHERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 47.67 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE EAST, WHOSE RADIUS POINT BEARS NORTH 48°33'52" EAST, A DISTANCE OF 170.00 FEET THEREFROM; THENCE RUN NORTHERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, THE SAME BEING THE NORTHERLY LINE OF SAID TRACT "B", HAVING A RADIUS OF 170.00 FEET, THROUGH A CENTRAL ANGLE OF 38°55'49", SUBTENDED BY A CHORD OF 113.30 FEET AT A BEARING OF NORTH 21°58'13" WEST, FOR AN ARC LENGTH OF 115.51 FEET TO THE END OF SAID CURVE; THENCE RUN NORTH 02°30'19" WEST FOR A DISTANCE OF 30.01 FEET TO A POINT ON THE SOUTHERLY LINE OF TRACT "O" OF SAID WOODS EDGE; THENCE RUN NORTH 87°29'41" EAST, ALONG THE NORTHERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 40.00 FEET TO A POINT ON A CIRCULAR CURVE CONCAVE SOUTHEAST, WHOSE RADIUS POINT BEARS NORTH 87°29'41" EAST, A DISTANCE OF 30.00 FEET THEREFROM; THENCE RUN NORTHEASTERLY ALONG THE ARC OF SAID CURVE TO THE RIGHT, THE SAME BEING THE NORTHERLY LINE OF SAID TRACT "B" HAVING A RADIUS OF 30.00 FEET, THROUGH A CENTRAL ANGLE OF 90°00'00", SUBTENDED BY A CHORD OF 42.43 FEET AT A BEARING OF NORTH 42°29'41" EAST, FOR AN ARC LENGTH OF 47.12 FEET TO THE END OF SAID CURVE; THENCE RUN NORTH 87°29'41" EAST, ALONG THE NORTHERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 70.01 FEET TO THE NORTHEAST CORNER OF SAID TRACT "B", THE SAME BEING A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF THE TAMiami TRAIL (STATE ROAD NO. 45, U.S. 41); THENCE RUN SOUTH 02°30'19" EAST, ALONG THE EASTERLY LINE OF SAID TRACT "B", FOR A DISTANCE OF 1,120.18 FEET TO THE POINT OF BEGINNING OF THE PARCEL OF LAND HEREIN DESCRIBED, CONTAINING 12.841 ACRES, MORE OR LESS.

**SUBJECT TO:**

ALL OF THE ROADWAY EASEMENT WITHIN TRACT "B" OF WOODS EDGE, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 49 AT PAGES 50 THROUGH 56 OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA, CONTAINING 1.516 ACRES, MORE OR LESS.

THIS PROPERTY IS SUBJECT TO EASEMENTS, RESERVATIONS AND/OR RESTRICTIONS OF RECORD.

BEARINGS REFER TO WOODS EDGE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 49, PAGES 50 THROUGH 56, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

O. GRADY MINOR AND ASSOCIATES, P.A.

SIGNED 6-30-03

STEPHEN V. BURGESS

P.S.M. #6408  
STATE OF FLORIDA

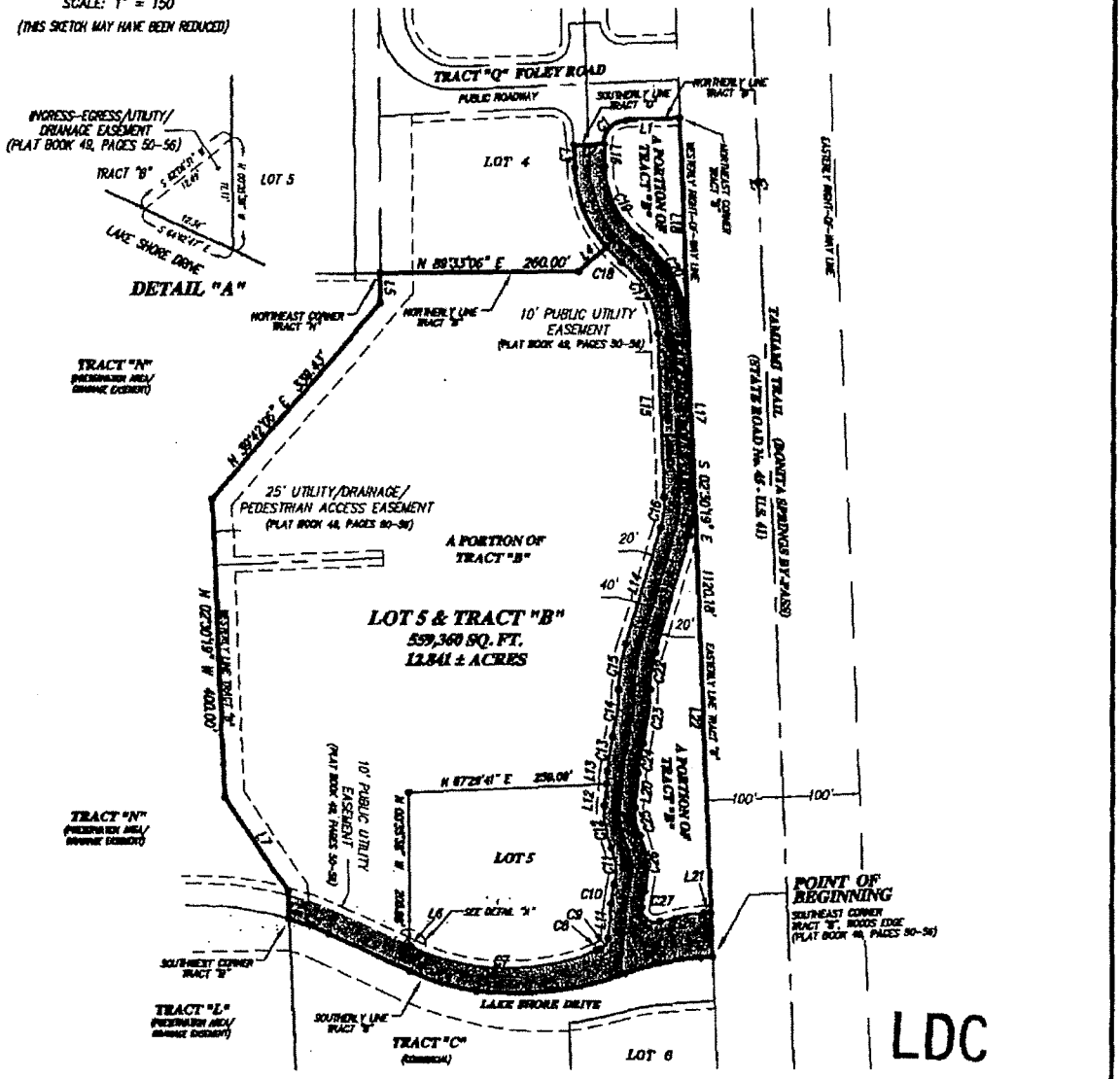
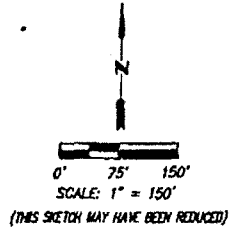
DRAWN BY: OGB	SHEET: 1 OF 2	JOB CODE: DV44
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**O. GRADY MINOR AND ASSOCIATES, P.A.**  
 CIVIL ENGINEERS ■ LAND SURVEYORS ■ PLANNERS  
 3800 VIA DEL REY  
 BONITA SPRINGS, FLORIDA 34134  
 PHONE: (239) 947-1144 FAX: (239) 947-0375  
 CERTIFICATE OF AUTHORIZATION NUMBER LB 5151

<b>LEGAL DESCRIPTION</b>	
LOT 5 AND TRACT "B" WOODS EDGE PLAT BOOK 49, PAGES 50-56 SECTION 4, TOWNSHIP 48 SOUTH, RANGE 25 EAST BONITA SPRINGS, LEE COUNTY, FLORIDA	
DATE: JUNE 2003	DRAWING: B-2613

**LOT 5 AND TRACT "B"  
WOODS EDGE  
PLAT BOOK 49, PAGES 50-56**



**LDC**

JUL 11 2003

**APPROVED**

**NOTES**

1. BEARINGS SHOWN HEREON REFER TO WOODS EDGE, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 49, PAGES 50 THROUGH 56, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.
2. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMALS THEREOF.
3. THIS PROPERTY IS SUBJECT TO EASEMENTS, RESERVATIONS AND/OR RESTRICTIONS OF RECORD.

**\* THIS IS NOT A SURVEY \***

DRAWN BY: CDB	SHEET: 2 OF 3	JOB CODE: DV4A
<b>SKETCH TO ACCOMPANY</b>		
LOT 5 AND TRACT "B", WOODS EDGE (PLAT BOOK 49, PAGES 50-56) SECTION 4, TOWNSHIP 48 SOUTH, RANGE 26 EAST BONITA SPRINGS, LEE COUNTY, FLORIDA		
DATE: JUNE 2003	DRAWING: B-2613	

**Q. GRADY MINOR AND ASSOCIATES, P.A.**  
 CIVIL ENGINEERS • LAND SURVEYORS • PLANNERS  
 3800 VIA DEL REY  
 BONITA SPRINGS, FLORIDA 34134  
 PHONE: (239) 947-1144 FAX: (239) 947-0375  
 CERTIFICATE OF AUTHORIZATION NUMBER LB 5161

Map Services Center, 1500 Highway 1, Suite 200, Bonita Springs, FL 34134, (239) 947-1144

Official Records BK 04005 pg 3598

EXHIBIT: C

**LOT 5 AND TRACT "B"  
WOODS EDGE  
PLAT BOOK 49, PAGES 50-56**

**DIMENSION SHEET**

LINE TABLE		
LINE	BEARING	DISTANCE
L1	N 87°29'41" E	70.01'
L2	N 87°29'41" E	40.00'
L3	N 02°30'19" W	30.01'
L4	N 48°33'42" E	47.67'
L5	N 00°35'42" W	39.15'
L6	N 64°42'47" W	2.21'
L7	N 33°30'19" W	150.00'
L8	N 02°30'19" W	38.19'
L9	N 64°42'47" W	117.36'
L10	S 85°58'00" W	16.27'
L11	N 04°29'51" E	46.99'
L12	N 04°35'28" E	29.11'
L13	N 04°35'28" E	17.33'
L14	N 15°58'03" E	161.48'
L15	N 02°30'19" W	218.18'
L16	S 02°30'19" E	30.01'
L17	S 02°30'19" E	218.18'
L18	S 02°30'18" E	283.62'
L19	N 15°58'03" E	161.48'
L20	N 04°35'28" E	46.44'
L21	S 85°58'00" W	8.89'
L22	S 02°30'21" E	559.35'

CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	30.00'	47.12'	90°00'00"	42.43'	N 42°29'41" E
C2	170.00'	115.51'	38°55'49"	113.30'	N 21°58'13" W
C3	400.00'	54.51'	07°48'27"	54.46'	N 68°37'00" W
C4	300.00'	92.72'	17°42'32"	92.35'	N 73°34'03" W
C5	400.00'	196.92'	28°12'26"	194.94'	S 83°28'28" W
C6	350.00'	101.38'	16°35'45"	101.02'	S 77°40'08" W
C7	300.00'	250.14'	47°46'26"	242.96'	S 88°36'00" E
C8	242.00'	4.76'	01°07'39"	4.76'	N 66°56'57" E
C9	18.00'	19.44'	61°53'17"	18.51'	N 35°26'29" E
C10	170.00'	25.86'	08°43'02"	25.84'	N 08°51'22" E
C11	80.00'	50.48'	36°09'09"	49.65'	N 04°51'42" W
C12	120.00'	57.66'	27°31'44"	57.10'	N 09°10'24" W
C13	320.00'	46.78'	08°22'35"	46.74'	N 08°46'45" E
C14	280.00'	63.82'	13°03'30"	63.68'	N 06°26'18" E
C15	220.00'	61.66'	16°03'30"	61.46'	N 07°56'18" E
C16	130.00'	41.91'	18°28'22"	41.73'	N 06°43'52" E
C17	130.00'	109.34'	48°11'23"	106.14'	N 26°36'00" W
C18	170.00'	27.47'	09°15'34"	27.44'	N 46°03'55" W
C19	130.00'	109.34'	48°11'23"	106.14'	S 26°36'00" E
C20	170.00'	142.98'	48°11'23"	138.80'	S 26°36'00" E
C21	170.00'	54.81'	18°28'22"	54.57'	N 06°43'52" E
C22	180.00'	50.45'	16°03'30"	50.28'	N 07°56'18" E
C23	320.00'	72.93'	13°03'30"	72.77'	N 06°26'18" E
C24	280.00'	40.93'	08°22'35"	40.90'	N 08°46'45" E
C25	80.00'	38.44'	27°31'44"	38.07'	N 09°10'24" W
C26	120.00'	75.72'	36°09'09"	74.47'	N 04°51'42" W
C27	130.00'	19.78'	08°43'02"	19.76'	N 08°51'22" E
C28	18.00'	35.42'	112°45'06"	29.98'	N 51°52'42" W
C29	242.00'	60.06'	14°13'15"	59.91'	S 78°51'23" W

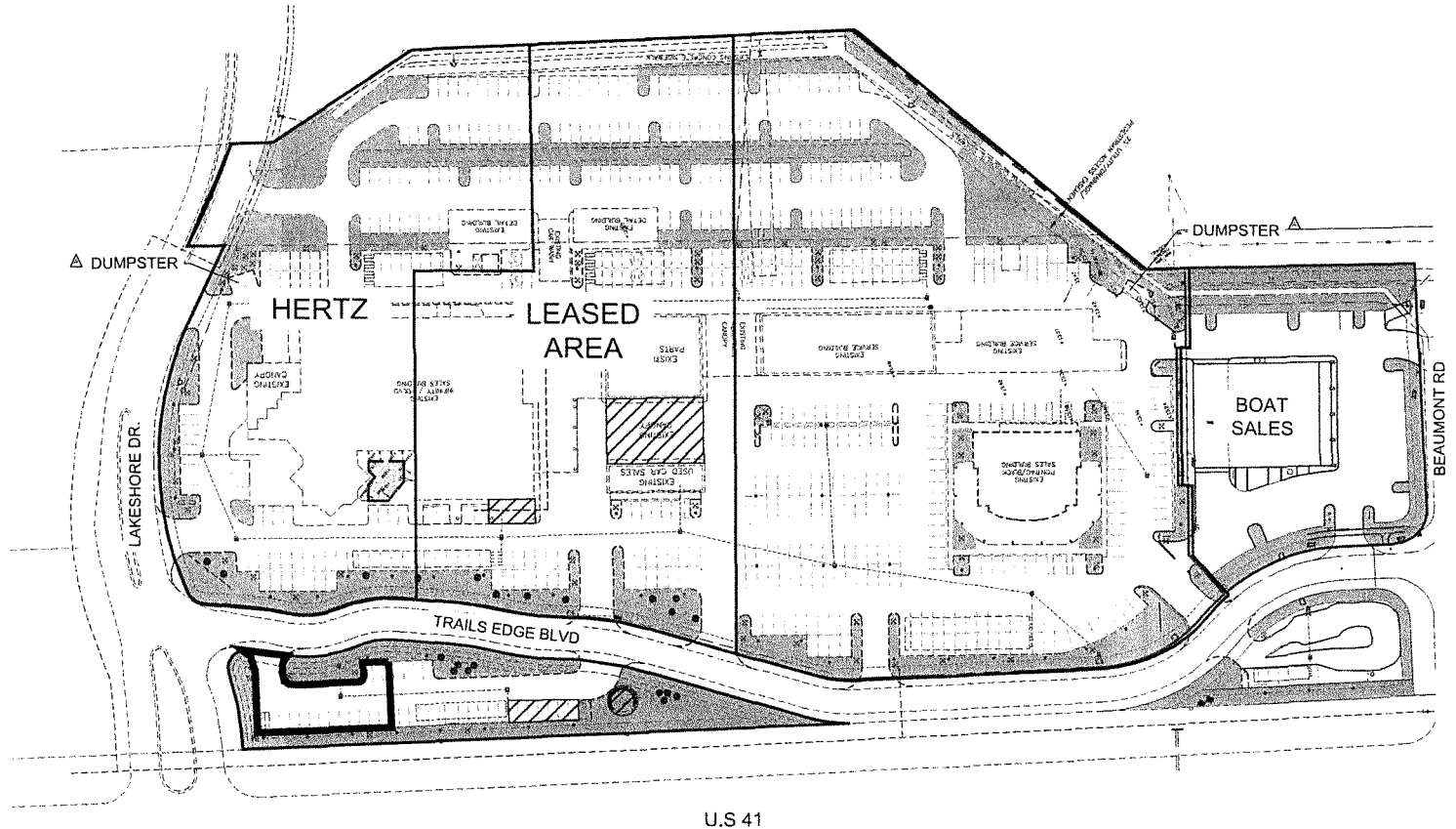
SHEET: 3 OF 3  
APPROVED: S.F.B.  
DRAWN: C.D.B.  
JOB CODE: DFM

**Q. GRADY MINOR AND ASSOCIATES, P.A.**  
 CIVIL ENGINEERS - LAND SURVEYORS - PLANNERS  
 3800 PIA DEE BLVD  
 BONITA SPRINGS, FLORIDA 34134  
 PHONE: (888) 947-1144 FAX: (941) 947-0375  
 CERTIFICATE OF AUTHORIZATION NUMBER LB 161

**DIMENSION SHEET**  
 LOT 5 AND TRACT "B", WOODS EDGE  
 (PLAT BOOK 49, PAGES 50-56)  
 SECTION 4, TOWNSHIP 48 SOUTH, RANGE 25 EAST  
 BONITA SPRINGS, LEE COUNTY, FLORIDA  
 DATE: JUNE 2003 DRAWING: B-2613

25

ATTACHMENT A



Parking required: 2.5 spaces per 1,000 SF of total floor area per LDC Sec. 4-1732 (2)n.4.  
 35,000 SF/1,000 x 2.5 = 88 spaces required  
 131 parking spaces provided  
 5 accessible parking spaces must be provided

▲ NOTES:  
 A CROSSWALK ACROSS TRAILS EDGE BLVD WILL BE LOCATED AT TIME OF DEVELOPMENT ORDER

▨ OUTDOOR DISPLAY (6,657 SQUARE FEET)

▲		
▲	REVISED PER COUNTY COMMENTS	2/12/21
▲	REVISED PER COUNTY COMMENTS	1/19/21
LETTER	REVISIONS	DATE

DIAMOND  
 RIDGE CPD

DESIGNED BY	DATE
DRAWN BY	DATE
CHECKED BY	DATE
VERTICAL SCALE	HORIZONTAL SCALE



950 Encore Way  
 Naples, FL 34110  
 Phone: (239) 254-2000  
 Florida Certificate of  
 Authorization No. 1772

POWER LODGE  
 SPECIAL EXCEPTION

DATE	REFERENCE NO.	DRAWING NO.
	PROJECT NO.	SHEET NO.
	2020.057	0F

\P\WORK\CPD\2020\2020057\POWER LODGE SPECIAL EXCEPTION.dwg User: DPM/PL/PL Date: 11/11/2020 10:58:10 AM Plot Date: 11/11/2020 10:58:10 AM







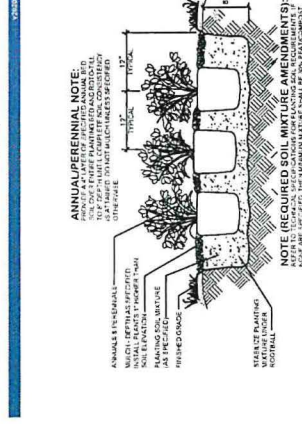




# CONSTRUCTION PERFORMANCE REQUIREMENTS:

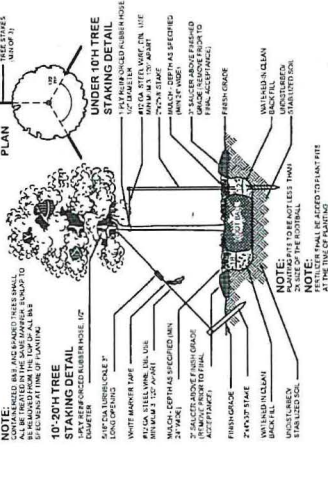
## PERFORMANCE NOTES:

- MULTIPLE DRAWING SHEETS:** This project contains multiple sheets of which collectively must be reviewed. Each sheet must be reviewed in its entirety and cross-referenced with all other sheets to ensure consistency and compliance with all applicable codes and standards. Working with an architect or engineer will ensure the best results for this project.
- VEGETATION REMOVAL:** Prior to the installation of any new plants, the CONTRACTOR will remove all existing vegetation within the project boundaries. The CONTRACTOR will be responsible for any utility relocation or other work required to complete the project. The CONTRACTOR will be responsible for any utility relocation or other work required to complete the project.
- CERTIFICATE OF COMPLIANCE:** Prior to the installation of any new plants, the CONTRACTOR will be responsible for obtaining a Certificate of Compliance (COC) from the appropriate authority. The CONTRACTOR will be responsible for obtaining a Certificate of Compliance (COC) from the appropriate authority.
- PLANTING ESSENTIALS:** All plants must be installed in accordance with the manufacturer's instructions. The CONTRACTOR will be responsible for providing and installing all necessary irrigation and drainage systems. The CONTRACTOR will be responsible for providing and installing all necessary irrigation and drainage systems.
- OVERHEAD POWER LINES:** Where overhead power lines are present, plants must be installed at a minimum of 10 feet from the power lines. The CONTRACTOR will be responsible for ensuring that all plants are installed at a minimum of 10 feet from the power lines.
- PLANTING BEHIND BUILDINGS:** Plants may not be planted closer than eight feet (8') to any walls, windows or doors. The CONTRACTOR will be responsible for ensuring that all plants are installed at a minimum of eight feet from the walls, windows or doors.
- SITE PROTECTION:** The CONTRACTOR shall be responsible for protecting and maintaining all existing site features, including but not limited to, utility lines, structures, and other site features. The CONTRACTOR shall be responsible for protecting and maintaining all existing site features.
- UTILITY CLEARANCES:** There shall be a minimum clearance of seven feet (7') in front of and to the sides of all fire hydrants, fire hydrants, and utility conduits. The CONTRACTOR shall be responsible for ensuring that all plants are installed at a minimum of seven feet from the utility lines.
- CANOPY TREES:** All trees and plants shall be installed in accordance with the manufacturer's instructions. The CONTRACTOR will be responsible for providing and installing all necessary irrigation and drainage systems. The CONTRACTOR will be responsible for providing and installing all necessary irrigation and drainage systems.
- PLANT SYMBOL TAGS:** The same species of plant materials may be indicated with different symbols. The CONTRACTOR shall be responsible for ensuring that all plants are installed in accordance with the manufacturer's instructions. The CONTRACTOR shall be responsible for ensuring that all plants are installed in accordance with the manufacturer's instructions.
- MULCH:** All planting required by the local land development code shall be installed with a layer of mulch over the top of the soil. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems.
- MINIMUM PLANT SPECIES:** All plants shall be installed in accordance with the manufacturer's instructions. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems.
- BUILDING PROTECTION:** All plants shall be installed in accordance with the manufacturer's instructions. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems.
- SUPPORTING DOCUMENTS:** The CONTRACTOR shall provide and maintain all supporting documents, including but not limited to, manufacturer's instructions, irrigation and drainage plans, and other supporting documents. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems.
- PLANT QUALITY:** All plants shall be installed in accordance with the manufacturer's instructions. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems.
- IRRIGATION PLANT SPECIES:** The plants shall be installed in accordance with the manufacturer's instructions. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems.

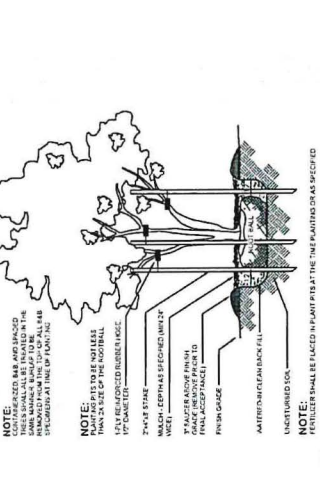


## ANNUAL & PERENNIAL PLANTING DETAIL WITH SOIL AMENDMENTS

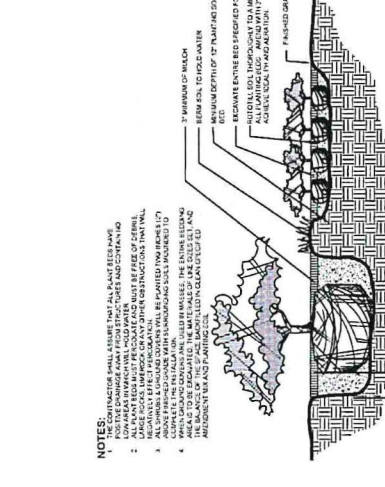
NOTE: (REQUIRED ON ALL PLANTING DETAILS) ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL NECESSARY IRRIGATION AND DRAINAGE SYSTEMS.



## SINGLE TRUNK TREE DETAIL (Various Heights)

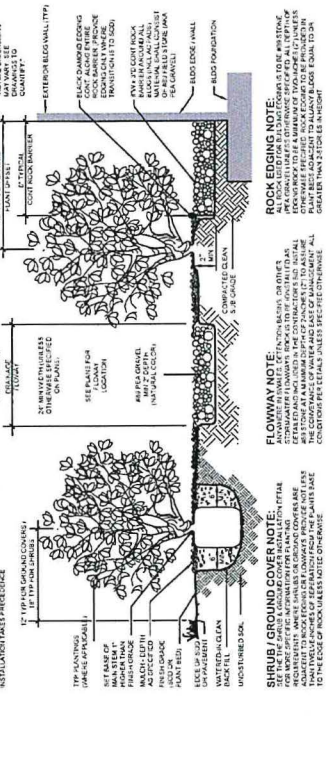


## MULTI-TRUNK TREE DETAIL

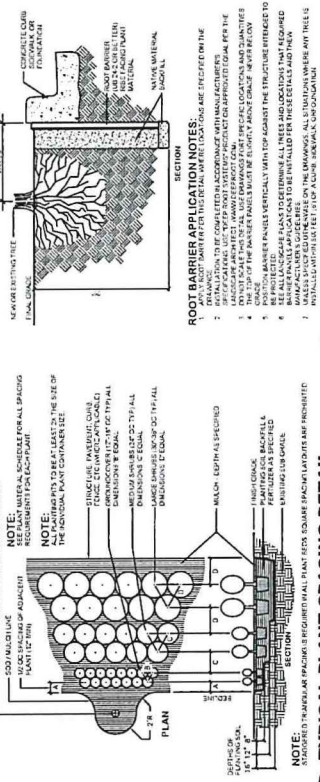


## SHRUB & GROUND COVER INSTALLATION DETAIL 2

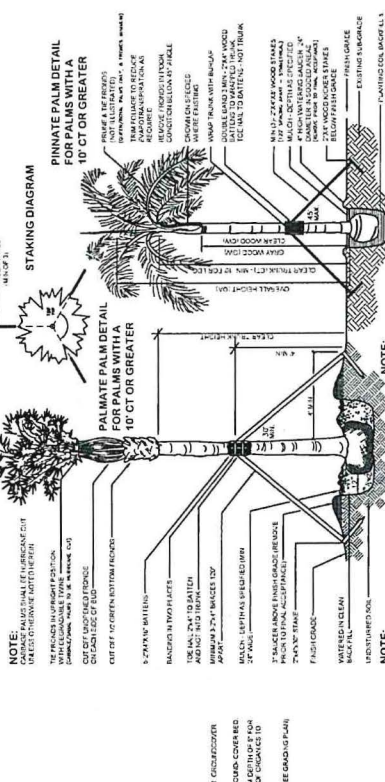
NOTE: (REQUIRED ON ALL PLANTING DETAILS) ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL NECESSARY IRRIGATION AND DRAINAGE SYSTEMS.



## SHRUB | GROUND COVER NOTE:



## TYPICAL PLANT SPACING DETAIL



## TYPICAL ROOT BARRIER DETAIL

NOTE: (REQUIRED ON ALL PLANTING DETAILS) ALL PLANTS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND INSTALLING ALL NECESSARY IRRIGATION AND DRAINAGE SYSTEMS.

**CONSTRUCTION PERFORMANCE REQUIREMENTS:**  
**PERFORMANCE NOTES:**  
 1. **MULTIPLE DRAWING SHEETS:** This project contains multiple sheets of which collectively must be reviewed. Each sheet must be reviewed in its entirety and cross-referenced with all other sheets to ensure consistency and compliance with all applicable codes and standards. Working with an architect or engineer will ensure the best results for this project.  
 2. **VEGETATION REMOVAL:** Prior to the installation of any new plants, the CONTRACTOR will remove all existing vegetation within the project boundaries. The CONTRACTOR will be responsible for any utility relocation or other work required to complete the project. The CONTRACTOR will be responsible for any utility relocation or other work required to complete the project.  
 3. **CERTIFICATE OF COMPLIANCE:** Prior to the installation of any new plants, the CONTRACTOR will be responsible for obtaining a Certificate of Compliance (COC) from the appropriate authority. The CONTRACTOR will be responsible for obtaining a Certificate of Compliance (COC) from the appropriate authority.  
 4. **PLANTING ESSENTIALS:** All plants must be installed in accordance with the manufacturer's instructions. The CONTRACTOR will be responsible for providing and installing all necessary irrigation and drainage systems. The CONTRACTOR will be responsible for providing and installing all necessary irrigation and drainage systems.  
 5. **OVERHEAD POWER LINES:** Where overhead power lines are present, plants must be installed at a minimum of 10 feet from the power lines. The CONTRACTOR will be responsible for ensuring that all plants are installed at a minimum of 10 feet from the power lines.  
 6. **PLANTING BEHIND BUILDINGS:** Plants may not be planted closer than eight feet (8') to any walls, windows or doors. The CONTRACTOR will be responsible for ensuring that all plants are installed at a minimum of eight feet from the walls, windows or doors.  
 7. **SITE PROTECTION:** The CONTRACTOR shall be responsible for protecting and maintaining all existing site features, including but not limited to, utility lines, structures, and other site features. The CONTRACTOR shall be responsible for protecting and maintaining all existing site features.  
 8. **UTILITY CLEARANCES:** There shall be a minimum clearance of seven feet (7') in front of and to the sides of all fire hydrants, fire hydrants, and utility conduits. The CONTRACTOR shall be responsible for ensuring that all plants are installed at a minimum of seven feet from the utility lines.  
 9. **CANOPY TREES:** All trees and plants shall be installed in accordance with the manufacturer's instructions. The CONTRACTOR will be responsible for providing and installing all necessary irrigation and drainage systems. The CONTRACTOR will be responsible for providing and installing all necessary irrigation and drainage systems.  
 10. **PLANT SYMBOL TAGS:** The same species of plant materials may be indicated with different symbols. The CONTRACTOR shall be responsible for ensuring that all plants are installed in accordance with the manufacturer's instructions. The CONTRACTOR shall be responsible for ensuring that all plants are installed in accordance with the manufacturer's instructions.  
 11. **MULCH:** All planting required by the local land development code shall be installed with a layer of mulch over the top of the soil. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems.  
 12. **MINIMUM PLANT SPECIES:** All plants shall be installed in accordance with the manufacturer's instructions. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems.  
 13. **BUILDING PROTECTION:** All plants shall be installed in accordance with the manufacturer's instructions. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems.  
 14. **SUPPORTING DOCUMENTS:** The CONTRACTOR shall provide and maintain all supporting documents, including but not limited to, manufacturer's instructions, irrigation and drainage plans, and other supporting documents. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems.  
 15. **PLANT QUALITY:** All plants shall be installed in accordance with the manufacturer's instructions. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems.  
 16. **IRRIGATION PLANT SPECIES:** The plants shall be installed in accordance with the manufacturer's instructions. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems. The CONTRACTOR shall be responsible for providing and installing all necessary irrigation and drainage systems.

**POWER LODGE SPECIAL EXCEPTION**  
 BONTA SPRINGS, FLORIDA  
 DCH ENTERPRISES, INC.  
 LANDSCAPE DETAILS & NOTES  
 (Sheet 2 of 4)

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 BONTA SPRINGS, FLORIDA  
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 DCH ENTERPRISES, INC.  
 LANDSCAPE DETAILS & NOTES  
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## PLANT INSTALLATION & MAINTENANCE STANDARDS

### INSTALLATION STANDARDS:

- 1. INSTALLATION:** Plant materials must be installed in soil conditions that are conducive to the proper growth of the plant material. Linerrock located within planting areas must be removed and replaced with native or growing media soil before planting. A plant's growth habit must be considered in advance of conflicts that might arise (e.g., views, signage, overhead power lines, lighting, buildings, circulation). Trees may not be placed where they interfere with site drainage, subsurface utilities, or overhead utility lines, or where they will require frequent pruning in order to avoid interference with overhead power lines.
- 2. All landscape materials must be installed in a recognized horticultural correct manner.** At a minimum, the following installation requirements must be met:
  - A. All landscape areas must be mulched unless vegetative cover is already established.**
  - B. Light poles must be located outside of all parking islands containing required or specified trees.**
  - C. Trees and shrubs used in buffers must be planted in a minimum width area equal to one-half the required width of the buffer. However, in no case may the planting area be less than five-feet in width (5').**
  - D. All landscaped areas must be provided protection from encroachment by any type of vehicle.**
- 3. All required plants used in buffers and landscaping must be installed using veriscape principles.** Xeriscape principles include water conservation through drought-tolerant landscaping, the use of appropriate plant material, mulching, and the reduction of sodded areas.
- 4. Utility or drainage easements may overlap required buffers; however, no code required trees or shrubs may be located in any utility easement unless a written statement, from the entity holding the beneficial interest in the easement, is submitted specifically stating that the entity has no objection to the landscaping and that the proposed landscaping will not interfere with the long term maintenance of the infrastructure within easement area. No code required landscaping may be located in any street easement or right-of-way. To avoid conflicts with overhead utility lines, only trees less than twenty feet (20') in height at maturity may be used directly adjacent to an overhead line. Variances or deviations from the requirements of this subsection are prohibited.**
- 5. Safe sight triangle triangles at intersections and vehicle crossings.** Where an access way intersects a right-of-way or when a property abuts the intersection of two or more rights-of-way, a minimum safe sight distance triangular area must be established. Within this area, vegetation must be planted and maintained in a way that provides unobstructed visibility at a level between thirty inches (30") and eight feet (8') above the crown of the adjacent roadway. Landscaping must be installed in accordance with the roadside recovery area provisions of the state of Florida Department of Transportation's manual of uniform minimum standards for design, construction, and maintenance of streets and highways (FDOT green book) where appropriate.
- 6. Where signage is located within or adjacent to landscape buffer areas, all trees and shrubs located within landscape buffer must be located so as not to block the view of signage.**
- 7. If a wall is proposed, but not required, then the required buffer plantings must be installed on the exterior side between the wall and the adjoining property or street (right-of-way) of the wall or fence. Where a non-opaque decorative fence is proposed, but not required, the planting may straddle the fence so long as not less than fifty percent (50%) of the plant material is on the adjoining property side of the decorative fence.**

### INITIAL MAINTENANCE STANDARDS:

- 1. Maintenance of Landscaping:** The OWNER is responsible for maintaining the required landscaping in a healthy and vigorous condition at all times. Tree and palm staking must be removed within twelve (12) months after installation. All landscapers must keep trees of rubber, citrus, disease, pests, and weeds. Ongoing maintenance to prohibit the establishment of prohibited invasive exotic species is required. The CONTRACTOR is responsible for maintaining proper watering.
- 2. Pruning:** Vegetation required by this code may only be pruned to promote healthy, uniform, natural growth of the vegetation (except where necessary to promote health, safety, and welfare) and in accordance with "American National Standard for Tree Care Operations - Tree, Shrub, and Other Woody Plant Maintenance - Standard Practices (Pruning)" (ANSI, part 17) of the American National Standards Institute and "Best Management Practices: Tree Pruning" by the International Society of Arboriculture (ISA). Trees must not be severely pruned to permanently maintain growth at a reduced height or spread. Pruning must not interfere with the design intent of the original installation. Replaced trees must meet the minimum tree size requirements of local code. A plant's growth habit must be considered in advance of conflicts which might arise (e.g., views, signage, overhead power lines, lighting, circulation, sidewalks, buildings, and similar conflicts). Any huck-backing, lopping, or topping of trees is prohibited.
- 3. Maintenance Schedule:** A monthly landscape maintenance meeting shall be held between the Contractor of Record (or assigned Maintenance Coordinator) and OWNER to review and address landscape maintenance issues. These meetings shall include a site drive through to observe landscape condition and identify problem areas to be addressed by the landscape maintenance contractor. The landscape contractor shall implement the maintenance guidelines for lawns, trees, palms, shrubs and groundcovers based below and communicate to the client any changes, discrepancies or alterations to the maintenance schedule and techniques.
- 4. See the accompanying "Landscape Management Manual" for specific outline, conditions, and tasks for successful ongoing care of the landscape implemented.**

## PERMITTING, GRADING, & PLANTING

### PERMITTING NOTES:

- 1. WORK PREPARATION:** The CONTRACTOR shall be responsible for the location of all utilities and services both underground and overhead prior to the commencement of work. Protection of all utilities, appliances, and services throughout the course of work is required.
- 2. COORDINATION OF WORK:** Coordinate all work with all trades so as to avoid and conflict with the execution of work by others. The CONTRACTOR shall be responsible for the damage to plant materials caused by any trades through the course of work prior to final acceptance. The condition of plant material shall be in accordance to the quality standards specified herein.
- 3. UTILITY LOCATIONS:** Call "811" at least 48 hours prior to the execution of work to have all underground utilities located. This is a mandatory measure that must be conducted prior to commencement of any work on the project.
- 4. VEGETATION REMOVAL:** At no time may any work on the site commence without a valid vegetation removal permit as required by and most part of the permit documents. The CONTRACTOR is fully responsible for obtaining this permit prior to work and for any consequences that arise for the lack thereof.
- 5. CONTRACTOR UTILITIES:** The CONTRACTOR assumes full responsibility for executing these documents as drawn, specified, and required. Any rework associated with the failure to execute these documents as illustrated shall be done at the CONTRACTOR'S consequence unless duly coordinated with the OWNER and LANDSCAPE ARCHITECT in writing prior to substantial completion.

### GRADING NOTES:

- 1. GRADING & DRAINAGE:** It shall be the responsibility of the CONTRACTOR to finish grade at landscape areas eliminating all bums, depressions, ricks, ricks, or other debris prior to the installation of any plant material. The CONTRACTOR shall also be responsible for maintaining positive slope drainage away from all structures and in accordance with all drainage ways shown or implied on the civil grading & drainage drawings. See detail this sheet for additional flow way work requirements.
- 2. FINE GRADING:** All areas will be fine graded with a drag mat or grading rake to blend all imperfections and to remove surface debris (in excess of two-inches (2") prior to sodding, mulching, and as a condition of final acceptance.
- 3. STABILIZED GRADES:** The CONTRACTOR will be responsible for stabilizing grades using approved methods prior to landscape installation. Any repairs, alterations, or efforts to restore specified grades must be done prior to sodding or mulching.
- 4. ROUGH GRADING:** Rough grading must be reviewed and approved by either the ENGINEER or LANDSCAPE ARCHITECT prior to final grading or the commencement of any landscape installations. All grades must be maintained as delineated on the site civil grading & drainage drawings as a prerequisite to final acceptance.

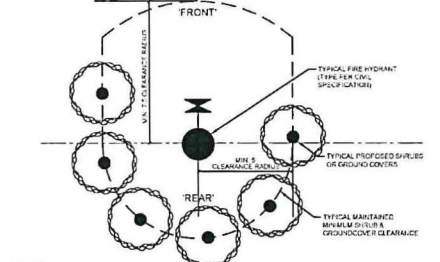
### LANDSCAPE PLANTING EXECUTION:

- 1. Seed:** Seed used on the project shall be type specified herein and shall be provided throughout or as indicated. All seeds and drainage system berms shall be sowed unless indicated otherwise. All disturbed areas off-site shall be seeded or replaced with the vegetation damaged or removed prior to final acceptance.
- 2. Guarantees:** The CONTRACTOR shall provide a guarantee and warrant all workmanship products, and plant materials for a period of not less than one (1) year from the date of final acceptance. No guarantees that warrant any of the aforementioned for a period of time less than that stated herein shall be considered valid. These drawings supersede any time period that are may conflict. The CONTRACTOR may not offer any warranties or guarantees that are less than those indicated in these documents. The CONTRACTOR shall indemnify the OWNER against any documents signed that may conflict with the requirements of the CONTRACTOR to fulfill.
- 3. Soil Testing:** The CONTRACTOR is fully responsible for providing and bearing the costs for all soil tests, soil amendments, and/or fertilizers that may be indicated as necessary through a soil test analysis. If the CONTRACTOR does not provide soil tests as specified, the CONTRACTOR shall bear full responsibility for any adverse impacts affected by the failure to execute these tasks or for any improper fertilization that may be applied.
- 4. Plant locations:** The CONTRACTOR shall field locate all plant material either by staking or placement of plants in containers for review and approval of the LANDSCAPE ARCHITECT prior to installation. Any movement or re-orientation of work determined necessary by the LANDSCAPE ARCHITECT due to the failure to have locations pre-approved will be recorded at the CONTRACTOR'S consequence.
- 5. Specifications:** Any failure by the CONTRACTOR to adhere to the specifications herein delineated within these documents may require the re-execution of work/services, replacement of materials, or reposition of work applied.
- 6. Grow bags:** Trees or any other materials previously grown in grow bags or grow bag material are strictly prohibited.
- 7. Familiarity with Documents:** See all plans, details, and specifications/needs for a complete outline of requirements for the project.

## CONSTRUCTION PERFORMANCE REQUIREMENTS:

### PERFORMANCE NOTES:

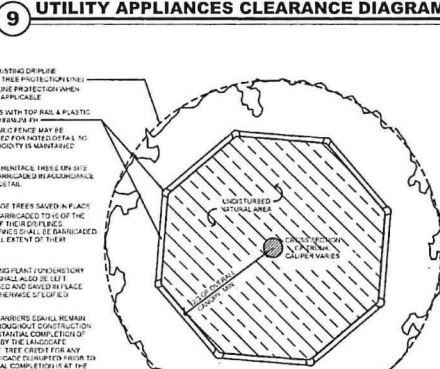
- 1. MULTIPLE DRAWING SHEETS:** This permit set contains multiple sheets of which collectively must be executed together to be in compliance. It is the CONTRACTOR'S responsibility to ensure that all of the sheets in this set have been reviewed and are the most current consistent with the approved development order or any amendments thereto prior to bidding and execution. If there is any doubt, contact the LANDSCAPE ARCHITECT prior to the commencement of work to have assurance. Working with an absolute set of drawings will be the sole responsibility of the CONTRACTOR to bear.
- 2. VEGETATION REMOVAL:** Prior to the execution of any work on-site, the CONTRACTOR will acquire the appropriate vegetation removal permits as may be required by the local jurisdictional agency. Any failure to obtain the appropriate permits prior to the execution of work are the responsibility of the CONTRACTOR.
- 3. CERTIFICATE OF COMPLIANCE:** Prior to receipt of a certificate of occupancy (CO), the CONTRACTOR shall be responsible for coordinating the appropriate inspections of substantial compliance with the LANDSCAPE ARCHITECT. The LANDSCAPE ARCHITECT will be required to determine that the project is in compliance with the permit documents, conditions, and stipulations as a requisite to obtain a certificate of compliance.
- 4. PLANTING EASEMENTS:** No plants that are "endangered" by code may be located within any utility or public easements. Drainage and base maintenance easements may be planted so long as there are no obstructions to water flow or access for maintenance.
- 5. OVERHEAD POWERLINES:** Where overhead powerlines are present, palms must be at least a point four distance away and trees must be at least ten foot (10') away, unless the tree species is such that it will not grow and interfere with the specifications of work.
- 6. PLANTING NEAR BUILDINGS:** Trees may not be planted closer than eight feet (8') to any curbs, sidewalks or foundations unless the appropriate root barrier provisions have been installed (see detail this sheet). Trees may not be planted closer than ten feet (10') from any building (depending on building height and tree species).
- 7. SITE PROTECTION:** The CONTRACTOR shall be responsible for providing and maintaining the appropriate protections for existing vegetation as herein details. All parking island applications shall meet the requirements of fill and grades as herein.
- 8. UTILITY CLEARANCES:** There is to be a minimum clearance of seven and one-half feet (7'6") in front of and to the sides of all fire hydrants, FDC, meters, and utility vaults.
- 9. CANOPY TREE:** All trees and palms planted to meet the requirements of installed "Canopy" trees (indicated herein as "Canopy") must be planted where delineated on the plans and site species specified.
- 10. PLANT SYMBOL TAGS:** The same species of plant materials may be illustrated with differing symbols. Leaders will define the species and its application. The Plant ID Tags will generally depict the category the material is intended to meet. Actual graphic symbols may vary. See Plant ID Tags for specific uses and the plant schedule for specifications.
- 11. MULCH:** All planting required by the local Land Development Code in effect must be installed with a layer of mulch not less than two inches (2") in depth. See plant schedule for the specification of mulch.
- 12. NATIVE PLANT SPECIES:** All trees planted to meet the requirements of code shall meet the minimum standards defined herein. Not less than seventy-five percent (75%) of all required trees and palms, a fifty percent (50%) of all required shrubs must be native species to the state of Florida, unless otherwise noted herein to be more restrictive.
- 13. BUILDING PERIMETER PLANTING:** Not more than ten percent (10%) of the required building perimeter landscape area (where applicable) may be planted in soil. Within the jurisdictional limits of the Village of Estero, not more than ten percent (10%) of the required internal landscape areas may be planted in soil and all dry detention basins must be fully planted with native grasses or other native non-woody material.
- 14. SUPPORTING DOCUMENTS:** The CONTRACTOR shall note and acknowledge that these approved permit documents include supporting calculations, specifications, requirements, and conditions that are not illustrated on this sheet. However, are made part of the requirements of work to be executed.
- 15. PLANT QUALITY:** All plant material specified for this project shall be Florida no. 1 quality or better (unless specified otherwise as Florida fancy) as defined by grades & standards (latest edition).
- 16. NURSANCE PLANT SPECIES:** The entire project site as defined by these documents must maintain all native insurance species as herein indicated free from the site in perpetuity.



**9 UTILITY APPLIANCES CLEARANCE DIAGRAM**

REQUIRED SHIRTS & GROUND COVERS THAT ARE IN PROXIMITY TO ABOVE GROUND LIFE SAFETY APPLIANCES SUCH AS FIRE HYDRANTS, FDC/VEHICLES, BACKFLOW PREVENTORS AND OTHER SUCH APPLIANCES CANNOT BE PLANTED WITHIN THE CLEARANCE DESIGNATED BY THIS DETAIL.

NOTE: IF ANY OF THE PRESCRIBED LIFE SAFETY UTILITY APPLIANCES FALL WITHIN AN EASEMENT, THEN NO TREES OR PALMS MAY BE LOCATED WITHIN THE EASEMENTS.



**12 TYPICAL HERITAGE TREE PROTECTION DETAIL**

TYPICAL EXISTING DRIVE PAVEMENT (PAVEMENT TREE PROTECTION LINE) SHALL DEFINE PROJECT GOVERNMENT LINES ARE APPLICABLE.

2\"/>



**11 TYPICAL PARKING LOT ISLAND CURB TRANSITION DETAIL**

ALL ISLANDS TO BE GRADED ABOVE CURB LINE (NO EXCEPTIONS).

(POSITIVE DRAINAGE REQUIRED FOR FINAL ACCEPTANCE, "NO EXCEPTIONS").

CENTER TREES ON ISLANDS WHERE APPROPRIATE SHALL BE AS 1.50\"/>



**10 MULCH APPLICATION DETAIL**

1\"/>

## LANDSCAPE DETAILS & CONSTRUCTION NOTES (Sheet 3 of 4):

Oak Hammock Office Park at Whiskey Creek  
Fort Myers, Florida 33909  
Office: (239) 936-1500  
Fax: (239) 936-1501  
www.holemonites.com  
Florida Certificate of Authorization No. 1772



**POWER LODGE SPECIAL EXCEPTION**  
Bonita Springs, Florida

**LANDSCAPE DETAILS & NOTES**  
(Sheet 3 of 4)

PROJECT:	POWER LODGE
DESIGNED BY:	DAVID ENTERPRISES, INC.
DRAWN BY:	WILLIAMS
CHECKED BY:	WILLIAMS
DATE:	10/27/13
SCALE:	AS SHOWN
APPROVED:	WILLIAMS
DATE:	10/27/13
PROJECT NO.:	200057LA
DRAWING NO.:	200057LA-02 - LPS-02
SHEET REFERENCE:	100 LANDSCAPE
SHEET SET NO.:	100 LANDSCAPE
DRAWN BY:	WILLIAMS
DATE:	10/27/13



