

CITY OF BONITA SPRINGS  
ZONING RESOLUTION NO. 21 – 07

A ZONING RESOLUTION OF THE CITY OF BONITA SPRINGS, FLORIDA; CONSIDERING A REQUEST FOR A SPECIAL EXCEPTION FOR A MOBILE FOOD VENDOR PARK ON PROPERTIES LOCATED WITHIN THE DOWNTOWN DISTRICT; LOCATED AT 27333 OLD 41 ROAD, AND 35-47-25-B2-00309.007A (ADDRESS UNDETERMINED), BONITA SPRINGS, FL 34135; PROVIDING FOR AN EFFECTIVE DATE.

**WHEREAS**, the City of Bonita Springs is the owner of record for the subject parcels; and

**WHEREAS**, Bonita Springs City Council in concert with the downtown revitalization efforts, issued a Request for Proposal (RFP) to the development community in January of 2020 for several city-owned properties, including the properties subject to this application which were awarded to the applicant; and

**WHEREAS**, the Bonita Springs City Code requires that certain uses otherwise permitted by a property's underlying zoning are required to obtain a special exception pursuant to Section 4-868 of the land development code ("LDC"); and

**WHEREAS**, a Public Hearing was advertised and heard on November 16, 2021 by the City of Bonita Springs Board for Land Use Hearings and Adjustments and Zoning Board of Appeals ("Zoning Board") on Case SPE21-82680-BOS who unanimously recommended approval after giving full and complete consideration of the record, consisting of the Staff Recommendation, the documents on file with the City and the testimony of all parties; and

**WHEREAS**, City Council at their December 1, 2021 zoning meeting considered the record of the Zoning Board on Case SPE21-82680-BOS, as well as a transcript of the Zoning Board hearing submitted as part of the City Council hearing record, and gave full consideration of the Staff Recommendation, the evidence and testimony, including the expert opinion of the Applicant, Rooftop at Riverside, LLC.

**NOW, THEREFORE, BE IT RESOLVED** by the City Council of the City of Bonita Springs, Lee County, Florida:

**SECTION ONE: APPROVAL OF REQUEST**

City Council of Bonita Springs hereby approves the request for a special exception with the following conditions:

Conditions:

1. The special exception will be valid for this Applicant only.
2. The site shall be generally consistent with the attached site plan (Attachment A), and the attached architectural plans (Attachment B).
3. A maintenance plan for food trucks entering and exiting the site shall be provided at time of Local Development Order submittal and be part of the ultimate approved set of plans.
4. Signage, striping, and curb cuts for the proposed parking on the north and its effect on the alleyway must be coordinated, processed, and permitted through a separate permit with the City of Bonita Springs Public Works Department.
5. A lot combination or unity of title application must be submitted by the Applicant and approved by Staff prior to the issuance of a local development order.
6. A lighting plan must be submitted at time of local development in accordance with LDC Chapter 3, and must be designed and installed in a way that is consistent with lumen standards and also in a way that does not cause nuisance glare onto surrounding property.
7. The proposed off-site parking lot improvements must be completed prior to the issuance of a certificate of occupancy and include a minimum of 25 parking spaces. Any proposed or improved curb cuts or access points on to city-maintained roads shall be coordinated, processed, permitted, and inspected through the City of Bonita Springs Public Works Department.
8. The City of Bonita Springs Noise Control Ordinance remains in effect in its entirety.
9. Additional information or changes to the plan not covered by this approval may require additional approvals, such as approval for indoor/outdoor alcohol consumption. Such approvals will follow the processes outlined in the Land Development Code.
10. Unless modified by this approval, the property shall be developed consistent with the regulations of the Land Development Code and the T5-Core transect of the Downtown District

Findings and Conclusions:

Based upon an analysis of the application and the standards for approval of special exception and as conditioned, the Bonita Springs City Council makes the following findings and conclusions:

1. The Applicant has proven entitlement for the requested special exception by demonstrating compliance with the Bonita Springs Comprehensive Plan; and
2. The Applicant has specifically proven:
  - i. Meets or exceed all applicable performance and locational standards set forth for the proposed use;
  - ii. is consistent with the goals, objectives, policies and intent set forth in the City of Bonita Springs Comprehensive Plan;
  - iii. is compatible with existing or planned uses in the surrounding area;
  - iv. will not cause damage, hazard, nuisance or other detriment to persons or property;
  - v. will not have an adverse effect on surrounding properties; and
  - vi. will be in compliance with all general zoning provisions and supplemental regulations pertaining to the use set forth in the City's Land Development Code.

**SECTION TWO: RECORD**

This Resolution incorporates all exhibits, staff reports, attachments, evidence and testimony presented before the Zoning Board and City Council.

**SECTION THREE: EFFECTIVE DATE**

This Resolution shall take effect immediately upon adoption.

**DULY PASSED AND ENACTED** by the City Council of the City of Bonita Springs, Lee County, Florida, this 1st day of December, 2021.

AUTHENTICATION:

Paul Stung Mayor      Debra Gelpick City Clerk

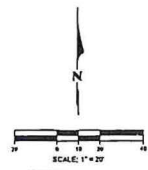
APPROVED AS TO FORM: [Signature]  
City Attorney

Vote:

Carr	Aye	Corrie	Aye
Purdon	Aye	Quaremba	Aye
Forbes	Aye	Steinmeyer	Aye
Gibson	Aye		

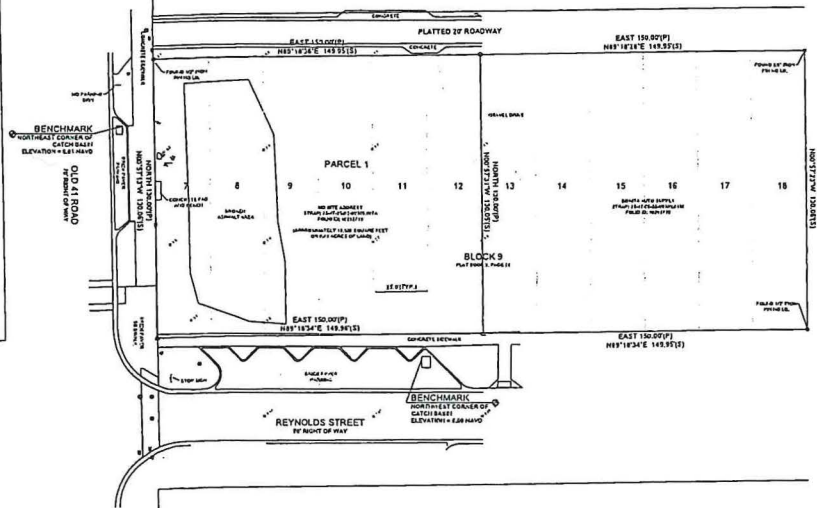
Date filed with City Clerk: 12/2/2021

# EXHIBIT A



**LEGEND**

- = BENCHMARK
- = SURVEY DATA
- = OVERHEAD UTILITY LINE
- = STORM SEWER MANHOLE
- = SANITARY SEWER MANHOLE
- = LIGHT POLE
- = WOODEN POWER POLE
- = CLEARWELL
- = SANDED POWER OPTIC MANHOLE
- = 3\"/>



- GENERAL NOTES**
1. FOUND BY SURVEY AS NOTED.
  2. ALL ELEVATIONS AND DISTANCES DECIMAL FEET.
  3. ALL BEARINGS AND DISTANCES ARE IN DEGREES, MINUTES AND SECONDS.
  4. BEARINGS AND DISTANCES ARE GIVEN RELATIVE TO THE EAST.
  5. RIGHT OF WAY LINE OF ROAD IS SHOWN.
  6. DISTANCES OF PROPERTY LINES IN FLOOD ZONE ARE PER FEDERAL COMMUNITY DEVELOPMENT ACT, 1974 AS AMENDED SUBJECT TO THE ELEVATION OF FLOOD ZONE.
  7. ELEVATIONS GIVEN HEREON ARE RELATIVE TO NORTH AMERICAN VERTICAL DATUM 1988 (NAVD 88).
  8. ELEVATIONS AND DISTANCES GIVEN HEREON ARE IN FEET AND DECIMAL THEREOF.
  9. THE SURVEY IS CERTIFIED TO THE DATE OF THIS SURVEY LIST.
  10. THE DATE OF SIGNATURE.
  11. TITLE COMMITMENT NO. 1211511 (AS SUPPLIED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY) WITH AN EFFECTIVE DATE (PARAGRAPH 11, 12), MAY BE REVIEWED BY THE MICROFILMED SURVEYOR.

**LEGAL DESCRIPTION**

LOT 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 AND 12, BLOCK 9, SOUTH BRIDGE, ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 26, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.

FOR THE BENEFIT OF  
 ROOFTOP AT RIVERSIDE, LLC, FLORIDA LIMITED LIABILITY COMPANY  
 COASTAL TOWNHOMES & ESTATES, P.A.  
 OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY

COASTAL ENGINEERING CONSULTANTS, INC.  
 FLORIDA BUSINESS AUTHORIZATION NO. LB 184

RELEASED & APPROVED BY  
 PROFESSIONAL SURVEYOR AND MAPPER  
 FLORIDA CERTIFICATE NO. 12115  
 NOT VALID WITHOUT THE REGULAR AND  
 THE ORIGINAL RAISED SEAL OF A FLORIDA  
 LICENSED SURVEYOR AND MAPPER  
 DATE OF FIELD SURVEY: 04/21/2011  
 DATE OF SIGNATURE:

DATE	04/21/2011	SCALE	1" = 20'
DRAWN	AMM	PLAT	18
CHECKED	AMM	DATE	04/21/2011
PROJECT	04/21/2011	FILE NO.	18
COASTAL ENGINEERING CONSULTANTS, INC. 1400 W. UNIVERSITY BLVD., SUITE 100 TAMPA, FLORIDA 33606 PHONE: (813) 973-1111 FAX: (813) 973-1112 WWW.COASTAL-ENGINEERING.COM			
CLIENT: ROOFTOP AT RIVERSIDE, LLC PROJECT: BOUNDARY SURVEY OF LOTS 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 11 AND 12, BLOCK 9, SOUTH BRIDGE, ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 26, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA. PHONE: (813) 973-1111			
SHEET 1 OF 1 FILE NO.			

# EXHIBIT A CONTINUED

## LEGAL DESCRIPTION

Strap No.: 35-47-25-B2-00309.007A

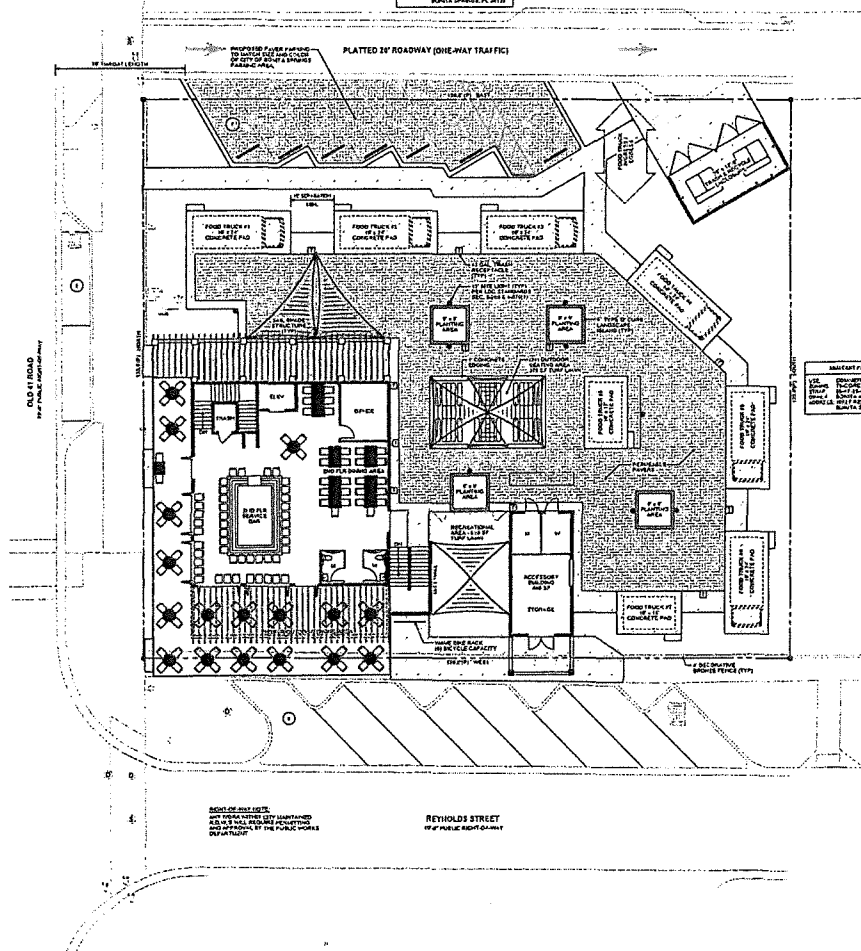
Strap No.: 35-47-25-B2-00309.007B

LOTS 7, 8, 9, 10, 11 AND 12, BLOCK 9, BONITA SPRINGS, ACCORDING TO THE PLAT THEREOF AS RECORDED IN PLAT BOOK 3, PAGE 26, OF THE PUBLIC RECORDS OF LEE COUNTY, FLORIDA.



ATTACHMENT A CONTINUED

PROJECT NUMBER:  
 27333 OLD 41 ROAD  
 BONTA SPRINGS, FL 34113



PROJECT NUMBER:  
 27333 OLD 41 ROAD  
 BONTA SPRINGS, FL 34113

REYNOLDS STREET  
 (BY PUBLIC RIGHT OF WAY)

**PHOENIX**  
 STUDIO

REGISTERED PROFESSIONAL ARCHITECTS

PHOENIX ARCHITECTURAL DEVELOPMENT, INC.  
 27333 OLD 41 ROAD  
 BONTA SPRINGS, FL 34113

PROJECT DESCRIPTION:  
 ROOFTOP AT RIVERSIDE  
 27333 OLD 41 ROAD  
 BONTA SPRINGS, FL 34113  
 CITY OF BONTA SPRINGS  
 LEE COUNTY

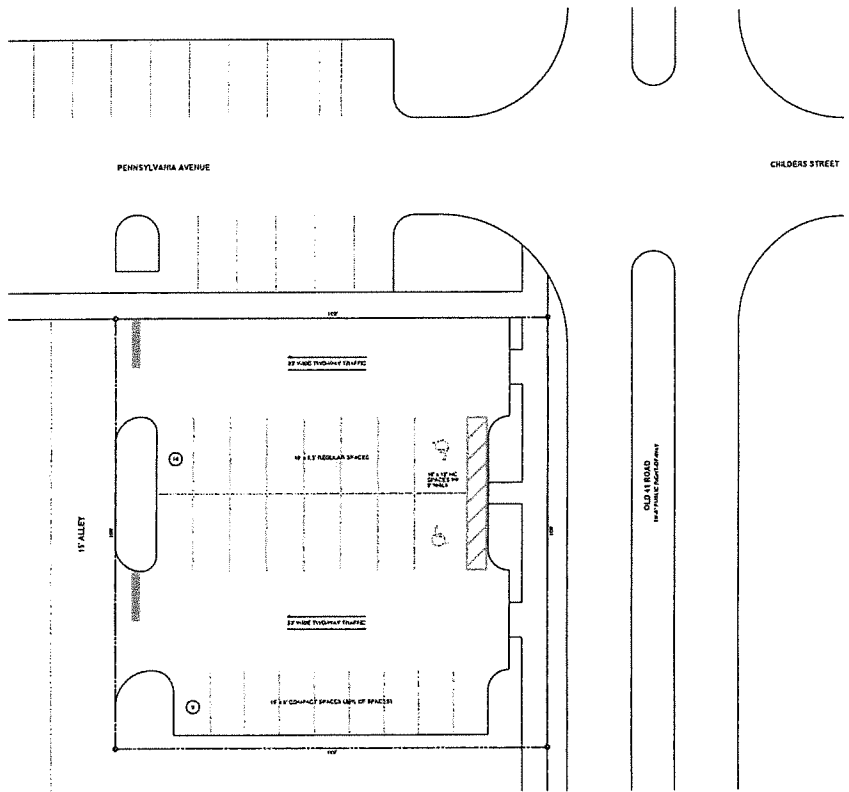
PROJECT EVALUATION TYPE:  
 SE DOCUMENTS  
 COMPLETED BY:  
 REVIEWER: STUBBS

SHEET TITLE:  
 SITE DEVELOPMENT PLAN  
 2ND FLOOR BAR

DATE: 11/19/13  
 SHEET NUMBER:  
**SDP-2**



ATTACHMENT A CONTINUED



**PROJECT PHOTO**

**LICENSED PROFESSIONAL**

THIS PLAN AND EACH COPY HEREOF ARE HEREBY MADE PUBLIC PROPERTY OF THE ENGINEER AND ARCHITECT FOR THE PROJECT. THE ENGINEER AND ARCHITECT SHALL BE RESPONSIBLE FOR THE PROVISIONS OF THIS PLAN AND SHALL BE RESPONSIBLE FOR THE PROVISIONS OF THIS PLAN AND SHALL BE RESPONSIBLE FOR THE PROVISIONS OF THIS PLAN.

**PROJECT NAME**

**PHOENIX**  
ARCHITECTS  
**FLORIDA**  
AN EQUAL OPPORTUNITY PROFESSIONAL CORPORATION

**PROJECT DESCRIPTION**

ROOFTOP AT RIVER!  
 27333 OLD 41 ROAD  
 BONTA SPRINGS, FL  
 CITY OF BONTA SPR  
 LEE COUNTY

**PROFESSIONAL ENGINEER**  
 THESE DOCUMENTS  
 COMPLETED BY  
 REVIEWED BY

**REVISIONS**

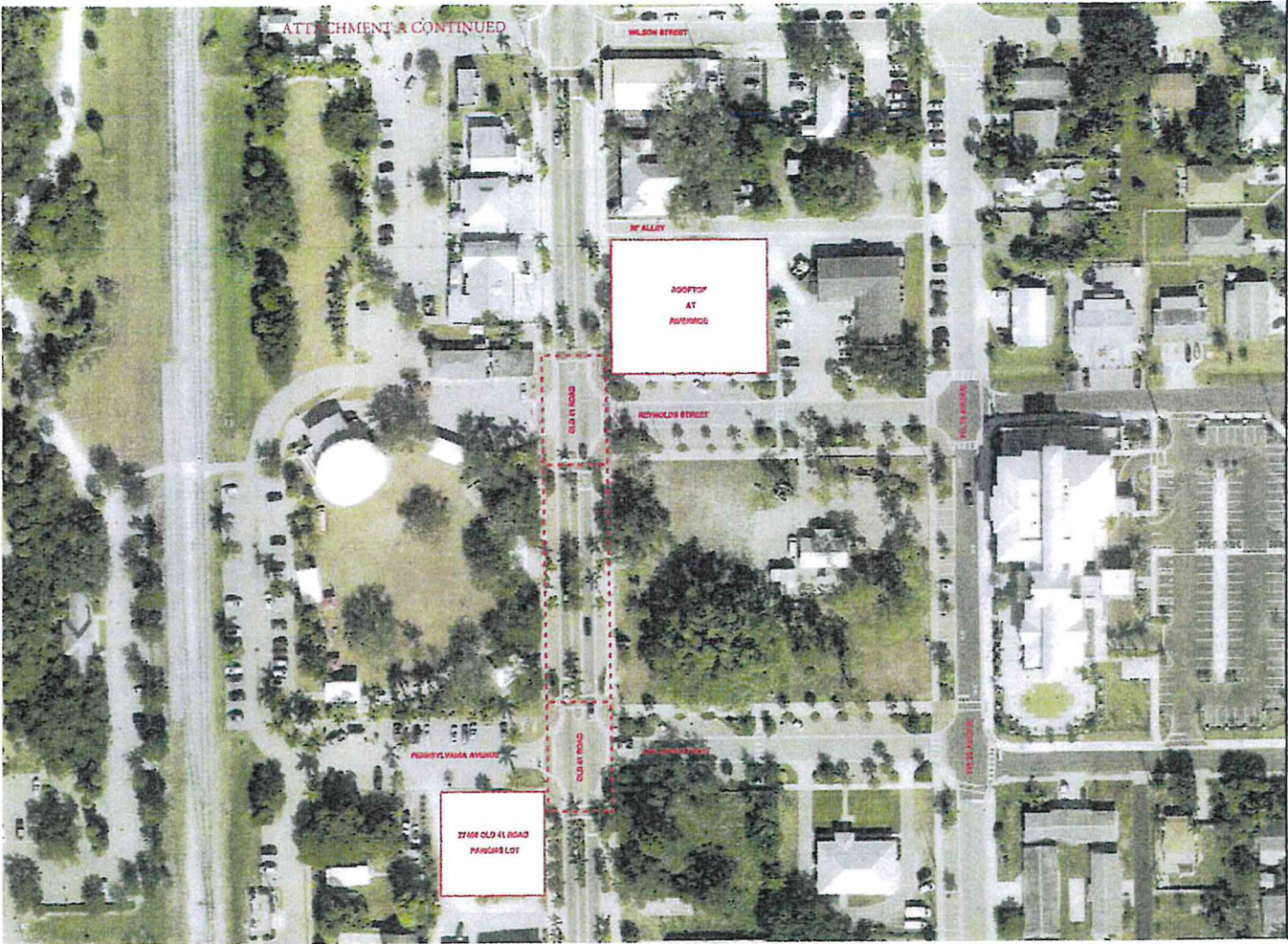
**EXHIBIT TITLE**

27480 OLD 41 RO  
 PARKING PL.

**DATE**  
**SHEET NUMBER**

**SDP-3**

ATTACHMENT A CONTINUED



**PROJECT NUMBER**  
  
 LICENSED PROFESSIONAL

**PROJECT PHASE**  
 ATTACHMENT A CONTINUED

**PHOENIX**  
 A DIVISION OF  
**FLORIDA**  
 PROFESSIONAL ENGINEERS  
 INCORPORATED

**PROJECT DESCRIPTION**  
 ROOFTOP AT RIVERSIDE  
 27333 OLD 41 ROAD  
 BONITA SPRINGS, FL 341  
 CITY OF BONITA SPRING  
 LEE COUNTY

**PROJECT NUMBER**  
 SE DOCUMENTS  
 CHECKED BY: [ ]  
 REVIEWER: [ ]  
 REVISIONS:

**DATE**      **SCALE**  
**SHEET NUMBER**  
**SDP-4**

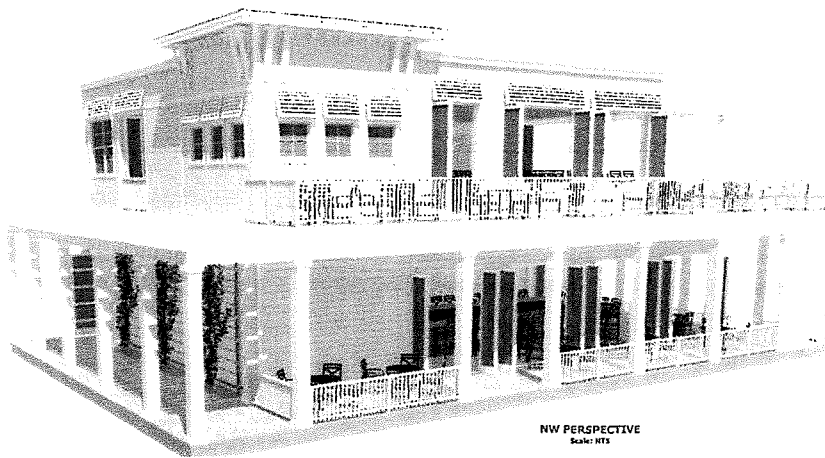
ATTACHMENT B

ARCHITECTURAL DESIGN STANDARDS DRAWINGS  
FOR CITY OF BONITA SPRINGS DEVELOPMENT ORDER REVIEW OF  
**THE ROOFTOP AT RIVERSIDE**

ATTACHMENT B

CITY OF BONITA SPRINGS

LEE COUNTY, FLORIDA

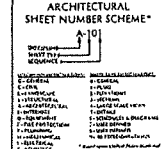


NW PERSPECTIVE  
Scale: NTS

INDEX OF DRAWINGS	
Sheet	Title
G-001	COVER SHEET & DATA
A-101	1ST FLOOR PLAN
A-102	2ND FLOOR PLAN
A-103	ROOF PLAN
A-201	FRONT & LEFT EXTERIOR ELEVATIONS - OPEN
A-202	FRONT & LEFT EXTERIOR ELEVATIONS - CLOSED
A-203	REAR & RIGHT EXTERIOR ELEVATIONS - OPEN
A-204	REAR & RIGHT EXTERIOR ELEVATIONS - CLOSED
A-301	CROSS SECTIONS
A-101	1ST FLOOR SEATING LAYOUT PLAN W/AC LIVING AREA
A-102	2ND FLOOR SEATING LAYOUT PLAN W/AC LIVING AREA
A-103	ACCESSORY STRUCTURES

**APPLICABLE CODES**  
ALL WORK SHALL CONFORM TO THE FOLLOWING CODES, LAWS AND LOCAL ENACTMENT ORDINANCES:

- FLORIDA FIRE PREVENTION CODE - 7TH EDITION
- FLORIDA BUILDING CODE - 7TH EDITION
- FLORIDA BUILDING CODE - PLUMBING - 7TH EDITION
- FLORIDA BUILDING CODE - MECHANICAL - 7TH EDITION
- NATIONAL ELECTRIC CODE (NFPA 70) - 2017 EDITION
- FLORIDA BUILDING CODE - ACCESSIBILITY - 7TH EDITION
- FLORIDA ADMINISTRATIVE CODE - CURRENT EDITION
- FLORIDA STATUTES - CURRENT EDITION
- CITY OF BONITA SPRINGS CODE OF ORDINANCES
- CITY OF BONITA SPRINGS LAND DEVELOPMENT CODE

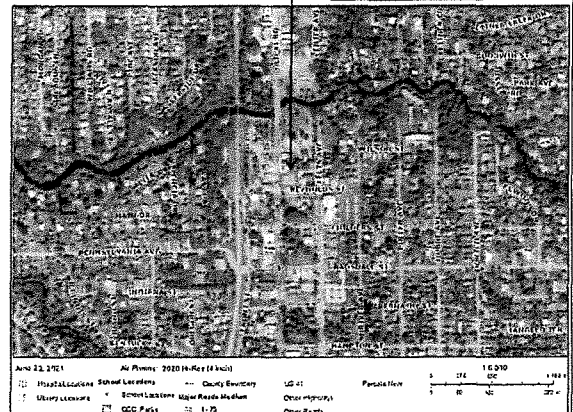


**GENERAL NOTES**  
THIS PROJECT LIES WITHIN THE CITY OF BONITA SPRINGS OLD US 91 DEVELOPMENT CORRIDOR WITH COTTAGE COMMERCIAL PLANNING AND DEVELOPMENT INTENT. DESIGN HAS EVOLVED IN REFERENCE TO THE BONITA SPRINGS LAND DEVELOPMENT CODE SPECIFICALLY CHAPTER 3 DEVELOPMENT STANDARDS AND CHAPTER 4 ZONING. IN ADDITION THIS PROJECT IS LOCATED WITHIN THE AREA DESIGNATED ISCOPE2 ON THE DISTRICT V, DIVISION 11, SECTION 4-86A MAP.

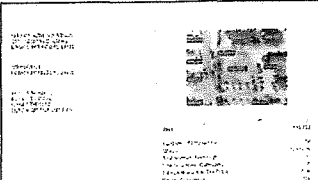
SECTION 302 <> FLORIDA BUILDING CODE 7TH EDITION	
USE AND OCCUPANCY CLASSIFICATION	
OCCUPANCY: ASSEMBLY A-2	HAZARD OCCUPANCY: NO
CODE DESCRIPTION: FOOD & DRINK CONSUMPTION	
OCCUPANCY SEPARATION: EQUIPMENT STAIRS	FOOD TRUCK COURT FRINGE BAR
OCCUPANCY SEPARATION SEATING PROVISIONS:	MINIMUM OCCUPANCY CLASS - 100 SEATED PER 500

TABLES 504.3, 504.4 & 506.2 <> FLORIDA BUILDING CODE 7TH EDITION	
ALLOWABLE HEIGHTS, STORES AND BUILDING AREAS	
CONSTRUCTION TYPE:	TYPE IIIA NON-COMBUSTIBLE NON-RATED
FIRE SPRINKLER SYSTEM:	YES, PER NFPA 13
FIRE ALARM SYSTEM:	YES, PER NFPA 72
FIRE SPRINKLER STATUS - FOR HEIGHT & STORES:	SPRINKLERED
FIRE SPRINKLER STATUS - FLOOR AREA:	SM
HEIGHT (FEET):	PROPOSED: 33.52 FT. IRC ALLOWABLE: 25 FT.
STORIES:	2
SQUARE FOOTAGE PER FLOOR (MAXIMUM):	2,700 30,500
TOTAL SQUARE FOOTAGE UNDER ROOF:	7,386 85,500

GENERAL	
LAND ZONE:	255 (Light Industrial) per 255-10 (Light Industrial) per 255-10 (Light Industrial) per 255-10 (Light Industrial)
PLANNING ZONE:	255 (Light Industrial) per 255-10 (Light Industrial) per 255-10 (Light Industrial) per 255-10 (Light Industrial)
PLUMBING ZONE:	255 (Light Industrial) per 255-10 (Light Industrial) per 255-10 (Light Industrial) per 255-10 (Light Industrial)
MECHANICAL ZONE:	255 (Light Industrial) per 255-10 (Light Industrial) per 255-10 (Light Industrial) per 255-10 (Light Industrial)
PLUMBING ZONE:	255 (Light Industrial) per 255-10 (Light Industrial) per 255-10 (Light Industrial) per 255-10 (Light Industrial)
MECHANICAL ZONE:	255 (Light Industrial) per 255-10 (Light Industrial) per 255-10 (Light Industrial) per 255-10 (Light Industrial)



GIS PROPERTY LOCATION AERIAL



LEE GIS PROPERTY REPORT

FLORIDA BUILDING CODE ANALYSIS

PHOENIX ARCHITECTURE & DESIGN, LLC  
11111 PHOENIX AVENUE, SUITE 100, PHOENIX, AZ 85042  
PH: 602.998.8888 FAX: 602.998.8889  
WWW.PHOENIXARCHITECTURE.COM

PROJECT NO. 25-1234567890  
DATE: 10/20/2024  
SCALE: AS SHOWN  
DRAWN BY: J. SMITH  
CHECKED BY: M. JONES  
PROJECT: FOOD TRUCK COURT, 2-STORY REVERAC & DRUGS FACILITY & ACCESSORY STRUCTURE FOR THE ROOFTOP AT 8151 27151 OLD US 91, BONITA SPRING, FL 34135

COVER SHEET & ATTACHMENT B  
G-001

SCALE IS ACCURATE ONLY WHEN PRINTED ON 11" x 17" A1 PLOT

1	STAIR 1	78	78
1	STAIR 2	78	78
1	STAIR 3	78	78
1	STAIR 4	78	78
1	STAIR 5	78	78
1	STAIR 6	78	78
1	STAIR 7	78	78
1	STAIR 8	78	78
1	STAIR 9	78	78
1	STAIR 10	78	78
1	STAIR 11	78	78
1	STAIR 12	78	78
1	STAIR 13	78	78
1	STAIR 14	78	78
1	STAIR 15	78	78
1	STAIR 16	78	78
1	STAIR 17	78	78
1	STAIR 18	78	78
1	STAIR 19	78	78
1	STAIR 20	78	78
1	STAIR 21	78	78
1	STAIR 22	78	78
1	STAIR 23	78	78
1	STAIR 24	78	78
1	STAIR 25	78	78
1	STAIR 26	78	78
1	STAIR 27	78	78
1	STAIR 28	78	78
1	STAIR 29	78	78
1	STAIR 30	78	78
1	STAIR 31	78	78
1	STAIR 32	78	78
1	STAIR 33	78	78
1	STAIR 34	78	78
1	STAIR 35	78	78
1	STAIR 36	78	78
1	STAIR 37	78	78
1	STAIR 38	78	78
1	STAIR 39	78	78
1	STAIR 40	78	78
1	STAIR 41	78	78
1	STAIR 42	78	78
1	STAIR 43	78	78
1	STAIR 44	78	78
1	STAIR 45	78	78
1	STAIR 46	78	78
1	STAIR 47	78	78
1	STAIR 48	78	78
1	STAIR 49	78	78
1	STAIR 50	78	78
1	STAIR 51	78	78
1	STAIR 52	78	78
1	STAIR 53	78	78
1	STAIR 54	78	78
1	STAIR 55	78	78
1	STAIR 56	78	78
1	STAIR 57	78	78
1	STAIR 58	78	78
1	STAIR 59	78	78
1	STAIR 60	78	78

FLOOR	ROOM NAME	AREA (SQ. FT.)	TOTAL AREA (SQ. FT.)
1	STAIR 1	78	78
1	STAIR 2	78	156
1	STAIR 3	78	234
1	STAIR 4	78	312
1	STAIR 5	78	390
1	STAIR 6	78	468
1	STAIR 7	78	546
1	STAIR 8	78	624
1	STAIR 9	78	702
1	STAIR 10	78	780
1	STAIR 11	78	858
1	STAIR 12	78	936
1	STAIR 13	78	1014
1	STAIR 14	78	1092
1	STAIR 15	78	1170
1	STAIR 16	78	1248
1	STAIR 17	78	1326
1	STAIR 18	78	1404
1	STAIR 19	78	1482
1	STAIR 20	78	1560
1	STAIR 21	78	1638
1	STAIR 22	78	1716
1	STAIR 23	78	1794
1	STAIR 24	78	1872
1	STAIR 25	78	1950
1	STAIR 26	78	2028
1	STAIR 27	78	2106
1	STAIR 28	78	2184
1	STAIR 29	78	2262
1	STAIR 30	78	2340
1	STAIR 31	78	2418
1	STAIR 32	78	2496
1	STAIR 33	78	2574
1	STAIR 34	78	2652
1	STAIR 35	78	2730
1	STAIR 36	78	2808
1	STAIR 37	78	2886
1	STAIR 38	78	2964
1	STAIR 39	78	3042
1	STAIR 40	78	3120
1	STAIR 41	78	3198
1	STAIR 42	78	3276
1	STAIR 43	78	3354
1	STAIR 44	78	3432
1	STAIR 45	78	3510
1	STAIR 46	78	3588
1	STAIR 47	78	3666
1	STAIR 48	78	3744
1	STAIR 49	78	3822
1	STAIR 50	78	3900
1	STAIR 51	78	3978
1	STAIR 52	78	4056
1	STAIR 53	78	4134
1	STAIR 54	78	4212
1	STAIR 55	78	4290
1	STAIR 56	78	4368
1	STAIR 57	78	4446
1	STAIR 58	78	4524
1	STAIR 59	78	4602
1	STAIR 60	78	4680
1	STAIR 61	78	4758
1	STAIR 62	78	4836
1	STAIR 63	78	4914
1	STAIR 64	78	4992
1	STAIR 65	78	5070
1	STAIR 66	78	5148
1	STAIR 67	78	5226
1	STAIR 68	78	5304
1	STAIR 69	78	5382
1	STAIR 70	78	5460
1	STAIR 71	78	5538
1	STAIR 72	78	5616
1	STAIR 73	78	5694
1	STAIR 74	78	5772
1	STAIR 75	78	5850
1	STAIR 76	78	5928
1	STAIR 77	78	6006
1	STAIR 78	78	6084
1	STAIR 79	78	6162
1	STAIR 80	78	6240
1	STAIR 81	78	6318
1	STAIR 82	78	6396
1	STAIR 83	78	6474
1	STAIR 84	78	6552
1	STAIR 85	78	6630
1	STAIR 86	78	6708
1	STAIR 87	78	6786
1	STAIR 88	78	6864
1	STAIR 89	78	6942
1	STAIR 90	78	7020
1	STAIR 91	78	7098
1	STAIR 92	78	7176
1	STAIR 93	78	7254
1	STAIR 94	78	7332
1	STAIR 95	78	7410
1	STAIR 96	78	7488
1	STAIR 97	78	7566
1	STAIR 98	78	7644
1	STAIR 99	78	7722
1	STAIR 100	78	7800
1	TOTALS	17385	6188

- GENERAL NOTES:
- 1. ALL FLOOR SHALL BE 04' FLOOR FINISHED IN COMPLIANCE WITH ASCE 7-10 AND FEMA 450C TECHNICAL MANUALS 1 AND 2.
- 2. BUILDING SHALL BE DESIGNED TO RESIST SEISMIC AND WIND LOADS AS PER THE REQUIREMENTS OF ASCE 7-10 AND FEMA 450C.
- 3. ALL VERTICAL SURFACES SHALL BE FINISHED WITH PLASTER OR GYP. BOARD OR EQUIVALENT MATERIALS IN COMPLIANCE WITH ASCE 7-10 AND FEMA 450C.
- 4. FLOORING SHALL BE FINISHED WITH PLASTER OR GYP. BOARD OR EQUIVALENT MATERIALS IN COMPLIANCE WITH ASCE 7-10 AND FEMA 450C.
- 5. ROOFING SHALL BE FINISHED WITH PLASTER OR GYP. BOARD OR EQUIVALENT MATERIALS IN COMPLIANCE WITH ASCE 7-10 AND FEMA 450C.
- 6. ELEVATOR PIT SHALL BE PROVIDED WITH RAMP PITTING AND SHALL BE COMPLIANT WITH ASCE 7-10 AND FEMA 450C.

DESCRIPTION	TOTALS
BASE SEATING	138
CHINA CABINET	12
TOTAL CUSTOMER SEATING	150

BONITA SPRINGS LOC. CH. 2; ART. NO. SIC 3-82. E.1  
VARIATION IN BASISING (Professional & Excess)

DESCRIPTION	TOTALS
BASE SEATING	138
CHINA CABINET	12
TOTAL CUSTOMER SEATING	150

1. THIS BUILDING IS TO BE FINISHED WITH PLASTER OR GYP. BOARD OR EQUIVALENT MATERIALS IN COMPLIANCE WITH ASCE 7-10 AND FEMA 450C.

2. ALL VERTICAL SURFACES SHALL BE FINISHED WITH PLASTER OR GYP. BOARD OR EQUIVALENT MATERIALS IN COMPLIANCE WITH ASCE 7-10 AND FEMA 450C.

3. FLOORING SHALL BE FINISHED WITH PLASTER OR GYP. BOARD OR EQUIVALENT MATERIALS IN COMPLIANCE WITH ASCE 7-10 AND FEMA 450C.

4. ROOFING SHALL BE FINISHED WITH PLASTER OR GYP. BOARD OR EQUIVALENT MATERIALS IN COMPLIANCE WITH ASCE 7-10 AND FEMA 450C.

5. ELEVATOR PIT SHALL BE PROVIDED WITH RAMP PITTING AND SHALL BE COMPLIANT WITH ASCE 7-10 AND FEMA 450C.

6. ELEVATOR PIT SHALL BE PROVIDED WITH RAMP PITTING AND SHALL BE COMPLIANT WITH ASCE 7-10 AND FEMA 450C.

1ST FLOOR PLAN  
Scale: 1/4" = 1'-0"

PHOENIX  
A MEMBER OF  
FLORIDA  
REGISTERED PROFESSIONALS  
IN ARCHITECTURE, ENGINEERING  
AND SURVEYING

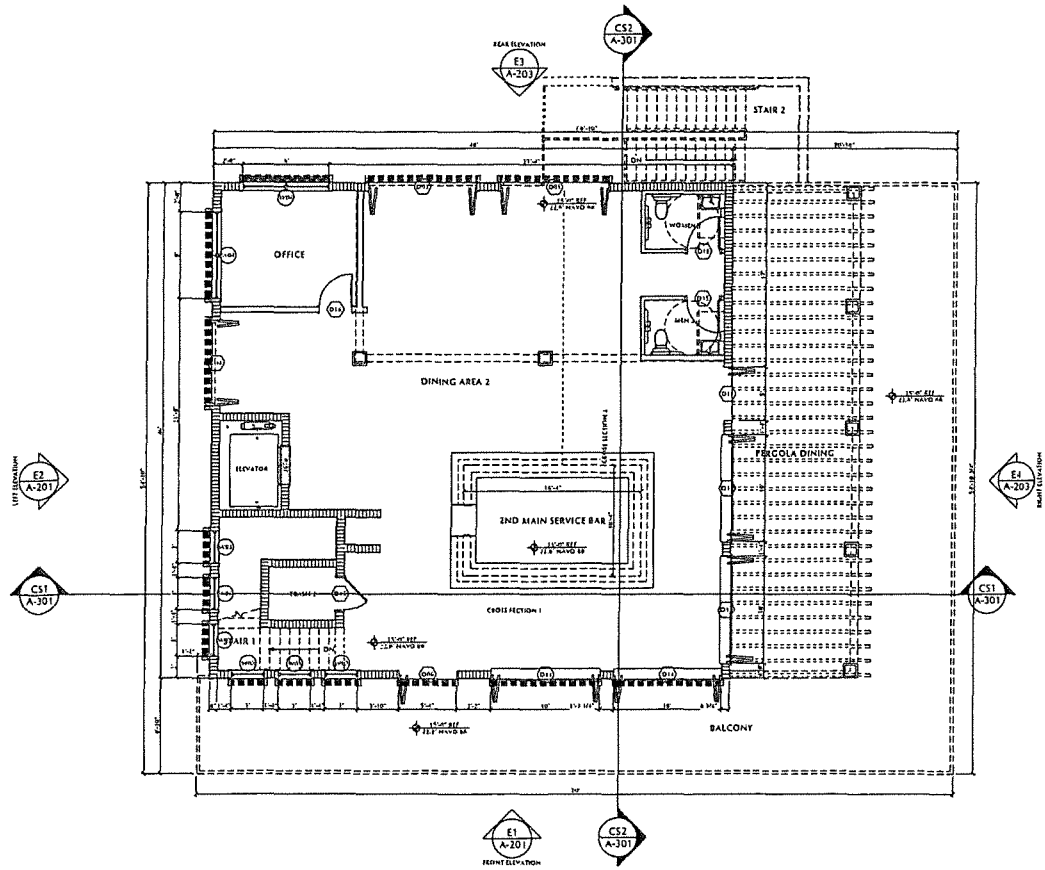
PROJECT DESCRIPTION:  
FOOD TRUCK COURT  
2 STREET SERVICE  
A DINING FACILITY & ACCESS  
STRUCTURE FOR  
THE FOODTRUCK AT BYWAY  
27111 OLD #1 ROAD  
BONITA SPRING, FL 34111

SHEET NO.  
23-15-00009-002A

DATE PLOTTED:  
11/07/2023

SCALE:  
1/4" = 1'-0"

SCALE: ACCURATE ONLY UNLESS NOTED OTHERWISE



2ND FLOOR PLAN  
Scale: 1/4" = 1'-0"

PHOENIX  
A. B. GILBERT & SONS  
FLORIDA

REGISTERED PROFESSIONAL ARCHITECTS  
1711 GULF BLVD.  
CORONA SPRING, FL 32909

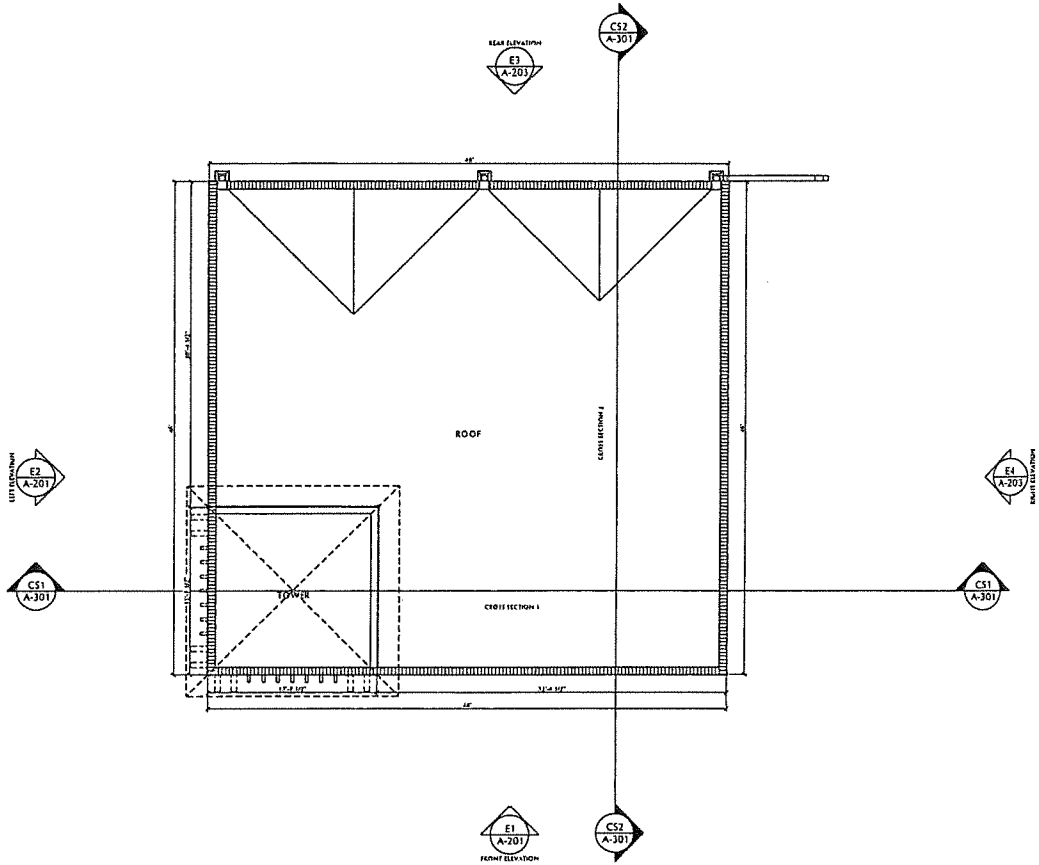
PROJECT: FOOD TRUCK COL. 2 STORY REVERSE & DOMIC FACILITY & AC STRUCTURE FOR THE 800 FT AT BAY 1711 GULF BLVD. CORONA SPRING, FL

DATE: 05/11/2021

2ND FLOOR P

A-102

SCALE: ACCURATE ONLY WHEN PRINTED ON A 24" x 36" JTBDA

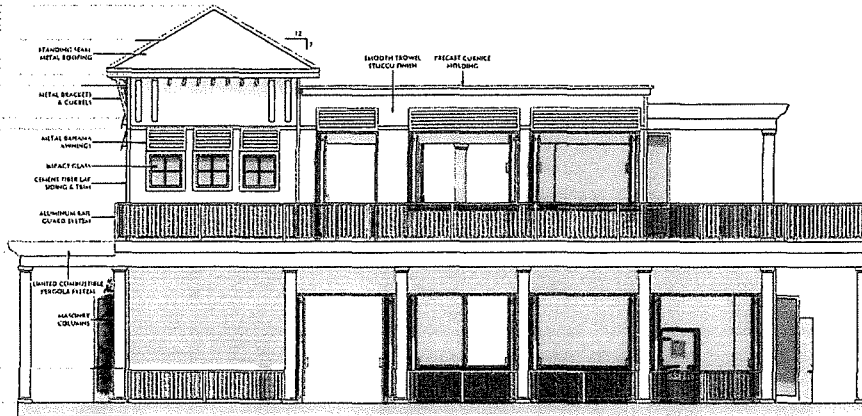


**ROOF PLAN**  
Scale: 1/4" = 1'-0"

<p><b>PHOENIX</b> ARCHITECTS OF PHOENIX, ARIZONA</p>
<p><b>PROJECT DESCRIPTION</b></p> <p>FOOD TRUCK COURT 3 STORE REVENUE A DRIVE FACILITY &amp; OCC STRUCTURE FOR THE 600' OF AT RIVER 3333 OLD 41 ROAD SCOTTSDALE, AZ 85261</p>
<p><b>SHEET NO.</b> 35-1342-0000-107</p>
<p><b>DATE</b> 05/14/2013</p>
<p><b>DESIGNER</b> A-103</p>
<p><b>PROJECT</b> ROOF PLAN</p>
<p><b>DATE</b> 11/30/2011</p>



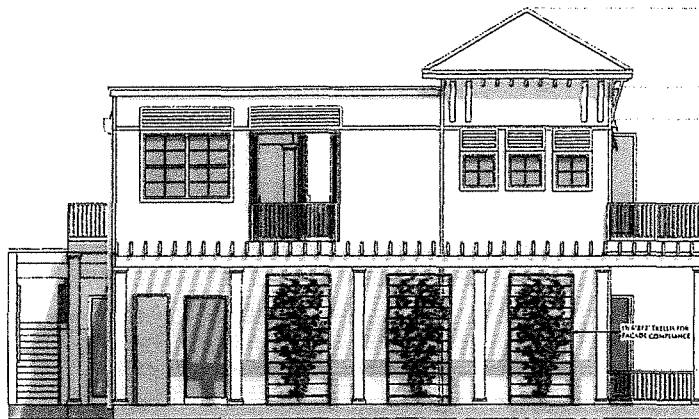
SCALE IS ACCURATE ONLY WHEN PRINTED ON 11" x 17" MEDIA



E1 - FRONT (WEST) ELEVATION  
Scale: 1/4" = 1'-0"

BOHITA SPONGE LUM CO. 3-281 100 SEC 3-VEL C-10- PRIMARY FACED STANDARD			
FACILITY: 15000 S. STATE ROAD 111, BOHITA, FLORIDA 32515			
REVISIONS: 1. 01/11/2011			
NO.	DATE	DESCRIPTION	BY
1	01/11/2011	ISSUED FOR PERMITS	...
2	01/11/2011	...	...
3	01/11/2011	...	...
4	01/11/2011	...	...
5	01/11/2011	...	...
6	01/11/2011	...	...
7	01/11/2011	...	...
8	01/11/2011	...	...
9	01/11/2011	...	...
10	01/11/2011	...	...

GENERAL NOTES	
1.	ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODE (IBC) AND THE INTERNATIONAL PLUMBING AND MECHANICAL CODE (IMC).
2.	ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT.
3.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.
4.	ALL UTILITIES SHALL BE LOCATED AND DEPTH MARKED PRIOR TO ANY EXCAVATION.
5.	PROTECT ALL EXISTING UTILITIES AND STRUCTURES DURING CONSTRUCTION.
6.	MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
7.	ALL WASTE MATERIALS SHALL BE PROPERLY DISPOSED AT AN APPROVED LOCATION.
8.	THE CONTRACTOR SHALL MAINTAIN A NEAT AND SAFE WORKING SITE AT ALL TIMES.
9.	ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
10.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE.



E2 - LEFT (NORTH) ELEVATION  
Scale: 1/4" = 1'-0"

PROJECT NAME: \_\_\_\_\_  
 PROJECT LOCATION: \_\_\_\_\_  
 PROJECT NO.: \_\_\_\_\_  
 DATE: \_\_\_\_\_

**PHOENIX**  
 CONSULTANTS  
 ARCHITECTS  
 ENGINEERS  
 PLANNERS

FOOD TRUCK COVER  
 3 STORY BEVERAGE  
 & DINING FACILITY & KITCHEN  
 STRUCTURE FOR  
 THE ROOFTOP AT LEVEL  
 1335 OLD 90 ROAD  
 BOHITA SPONGE, FL 32515

STRAP NO.  
 15-47-23-01-00301-001

PROJECT LOCATION: 1335 OLD 90 ROAD  
 BOHITA SPONGE, FL 32515

DATE: 01/11/2011

PROJECT NO.: 15-47-23-01-00301-001

SCALE: 1/4" = 1'-0"

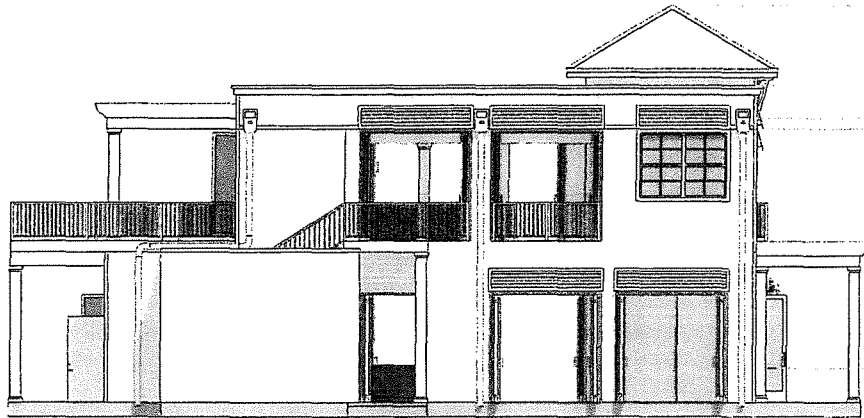
DATE: 01/11/2011

PROJECT NO.: 15-47-23-01-00301-001





SCALE IS ACCURATE UNLESS PRINTED ON A 1/4" x 3/4" MEDIA



**E3 - REAR (EAST) ELEVATION**  
Scale: 3/4" = 1'-0"

BOHITA SPRINGS LDC CO. 2-041, W. TIC 3-141, C-111 - PRIMARY RECORD STANDARD	
PERMANENT FACILITY THAT PERMITS THE PROPOSED USE PERMITS	
STANDARD FOR BOHITA SPRINGS FL	
APPROVED FOR THE FOLLOWING USE:	
USE	AREA
1	2
3	4
5	6
7	8
9	10
11	12
13	14
15	16
17	18
19	20
21	22
23	24
25	26
27	28
29	30
31	32
33	34
35	36
37	38
39	40
41	42
43	44
45	46
47	48
49	50
51	52
53	54
55	56
57	58
59	60
61	62
63	64
65	66
67	68
69	70
71	72
73	74
75	76
77	78
79	80
81	82
83	84
85	86
87	88
89	90
91	92
93	94
95	96
97	98
99	100

BOHITA SPRINGS LDC CO. 2-041, W. TIC 3-141, C-111 - PRIMARY RECORD STANDARD	
PERMANENT FACILITY THAT PERMITS THE PROPOSED USE PERMITS	
STANDARD FOR BOHITA SPRINGS FL	
APPROVED FOR THE FOLLOWING USE:	
USE	AREA
1	2
3	4
5	6
7	8
9	10
11	12
13	14
15	16
17	18
19	20
21	22
23	24
25	26
27	28
29	30
31	32
33	34
35	36
37	38
39	40
41	42
43	44
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67	68
69	70
71	72
73	74
75	76
77	78
79	80
81	82
83	84
85	86
87	88
89	90
91	92
93	94
95	96
97	98
99	100



**E4 - RIGHT (SOUTH) ELEVATION**  
Scale: 3/4" = 1'-0"

PHOENIX ASSOCIATES OF FLORIDA  
1000 UNIVERSITY BLVD., SUITE 1000, BOHITA SPRINGS, FL 32114  
TEL: 352-391-1111 FAX: 352-391-1112

PROJECT NO. 35-07-25-01-00301.00  
PROJECT LOCATION: BOHITA SPRINGS, FL  
CLIENT: BOHITA SPRINGS LDC

**REAR & RIGHT EXTERIOR ELEVATION - OPEN**

DATE: 10/20/21

A-203

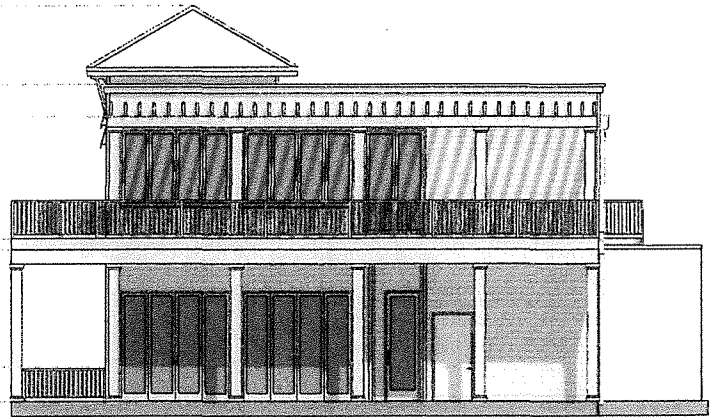
SCALE IS ACCURATE ONLY WHEN PRINTED ON A 24" x 36" SHEET



E3 - REAR (EAST) ELEVATION  
Scale: 1/4" = 1'-0"

FOOD TRUCK COURT - 1ST FLOOR - 1000 SQ. FT. - 1000 SQ. FT. - 1000 SQ. FT. - 1000 SQ. FT.			
GENERAL NOTES			
1.	SEE ARCHITECT'S NOTES FOR GENERAL NOTES AND SPECIFICATIONS.		
2.	ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.		
3.	ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.		
4.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.		
5.	ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.		
6.	THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.		
7.	ALL EXISTING STRUCTURES SHALL BE DEMOLISHED AND REMOVED FROM THE SITE.		
8.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES AND STRUCTURES.		
9.	ALL FOUNDATION WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOUNDATION CODES AND REGULATIONS.		
10.	ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONCRETE CODES AND REGULATIONS.		
11.	ALL MASONRY WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASONRY CODES AND REGULATIONS.		
12.	ALL ROOFING WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ROOFING CODES AND REGULATIONS.		
13.	ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MECHANICAL, ELECTRICAL, AND PLUMBING CODES AND REGULATIONS.		
14.	ALL PAINTING AND FINISHING WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE PAINTING AND FINISHING CODES AND REGULATIONS.		
15.	ALL LANDSCAPING AND EXTERIOR FINISHING WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE LANDSCAPING AND EXTERIOR FINISHING CODES AND REGULATIONS.		
16.	ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME AND BUDGET.		
17.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES AND STRUCTURES.		
18.	ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.		
19.	THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.		
20.	ALL EXISTING STRUCTURES SHALL BE DEMOLISHED AND REMOVED FROM THE SITE.		

FOOD TRUCK COURT - 1ST FLOOR - 1000 SQ. FT. - 1000 SQ. FT. - 1000 SQ. FT. - 1000 SQ. FT.			
GENERAL NOTES			
1.	SEE ARCHITECT'S NOTES FOR GENERAL NOTES AND SPECIFICATIONS.		
2.	ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.		
3.	ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.		
4.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.		
5.	ALL UTILITIES SHALL BE PROTECTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.		
6.	THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.		
7.	ALL EXISTING STRUCTURES SHALL BE DEMOLISHED AND REMOVED FROM THE SITE.		
8.	THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND REPAIR OF ALL EXISTING UTILITIES AND STRUCTURES.		
9.	ALL FOUNDATION WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FOUNDATION CODES AND REGULATIONS.		
10.	ALL CONCRETE WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CONCRETE CODES AND REGULATIONS.		
11.	ALL MASONRY WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MASONRY CODES AND REGULATIONS.		
12.	ALL ROOFING WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE ROOFING CODES AND REGULATIONS.		
13.	ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MECHANICAL, ELECTRICAL, AND PLUMBING CODES AND REGULATIONS.		
14.	ALL PAINTING AND FINISHING WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE PAINTING AND FINISHING CODES AND REGULATIONS.		
15.	ALL LANDSCAPING AND EXTERIOR FINISHING WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE LANDSCAPING AND EXTERIOR FINISHING CODES AND REGULATIONS.		
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18.	ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE LOCAL BUILDING DEPARTMENT.		
19.	THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.		
20.	ALL EXISTING STRUCTURES SHALL BE DEMOLISHED AND REMOVED FROM THE SITE.		



E4 - RIGHT (SOUTH) ELEVATION  
Scale: 1/4" = 1'-0"

PHOENIX ARCHITECTS OF FLORIDA

1000 TRUCK COURT  
1ST FLOOR RENOVATION  
& DINING FACILITY ACCESS  
STRUCTURE FOR  
THE BOOTH OF AN REVERSE  
27111 OLD 15 ROAD  
BOHOTA SPRING, FL 34113

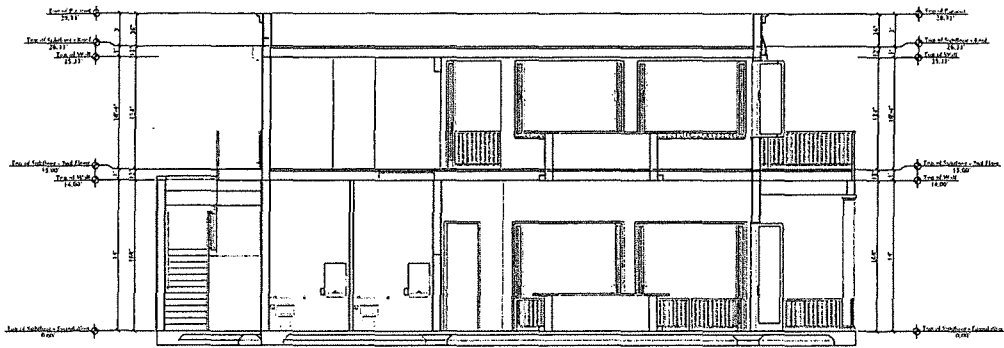
STATE NO.  
25-17-23-01-00305.001A

DATE: 07/2021

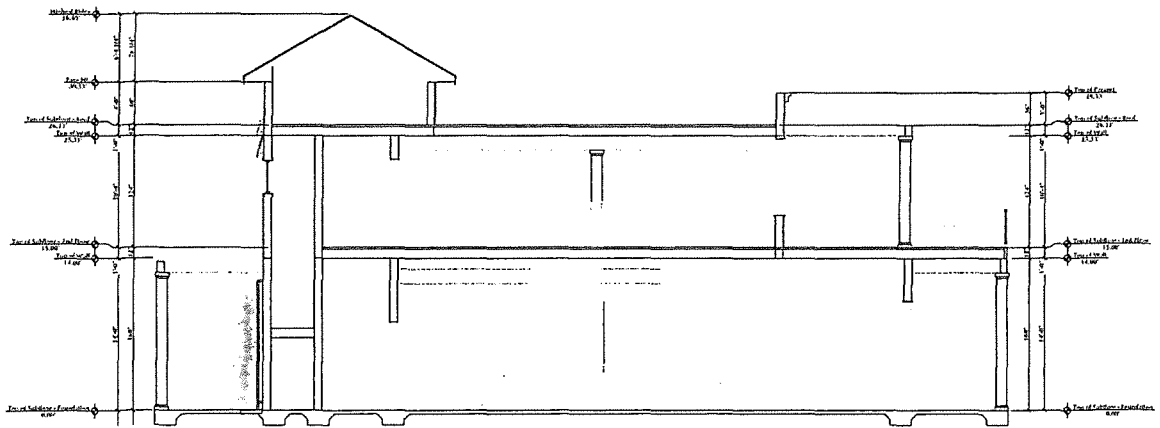
REAR & RIGHT  
EXTERIOR ELEVATIC  
- CLOSED

A-204

SCALE IS ACCURATE ONLY WHEN PRINTED ON 11" x 17" ARCH



CS2 - CROSS SECTION 2  
Scale: 1/4" = 1'-0"



CS1 - CROSS SECTION 1  
Scale: 1/4" = 1'-0"

PHOENIX ASSOCIATES, P.C.  
 ARCHITECTS  
 1125 S.W. 47TH AVENUE  
 SUITE 200  
 BOCA RATON, FL 33432  
 (561) 991-1100  
 www.phoenixassociates.com

PROJECT NO. 35-47-1582-00109

FOOD TRUCK CC  
 2 STORY REVERA  
 & DINING FACILITY & A  
 STRUCTURE FOR  
 THE ROOSTER AT 41  
 3731 OLD 41 BL  
 BOCA RATON, FL

STRAP NO. 35-47-1582-00109

DESIGNED BY PHOENIX ASSOCIATES, P.C.  
 DRAWING CHECKED BY  
 CREATIVED BY  
 REVISIONS BY

DATE 07/2021

PROJECT NO. CROSS SECTION

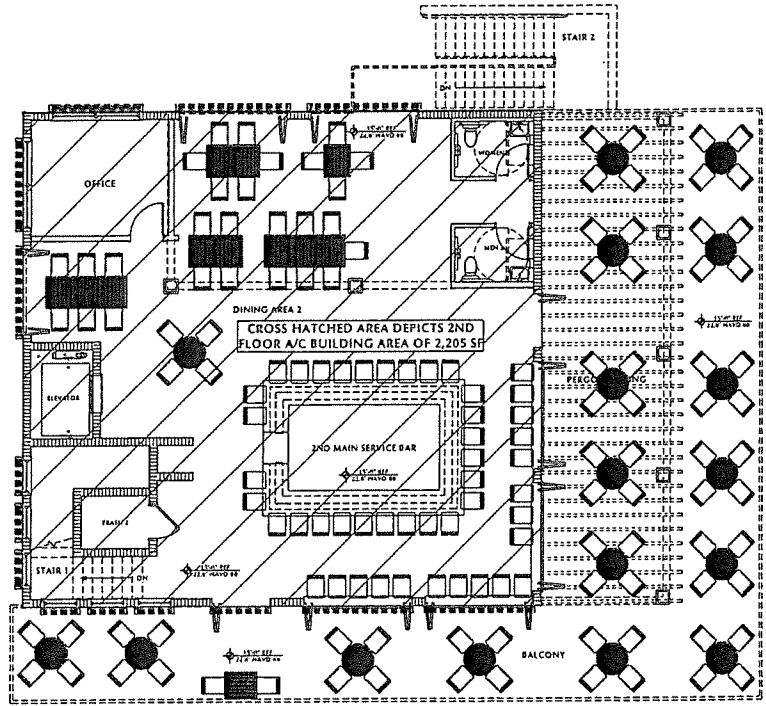
DATE 07/2021

PROJECT NO.

A-30



SCALE IS ACCURATE ONLY WHEN PRINTED ON 11" x 17" A ARCH DWT



2ND FLOOR SEATING LAYOUT PLAN  
Scale: 1/4" = 1'-0"

PHOENIX ASSOCIATES OF FLORIDA  
ARCHITECTS

PROJECT LOCATION  
FOOD TRUCK CO. 2 STORY BEVERAGE & DINING FACILITY & A/C STRUCTURE FOR THE BOOTH AT BWA 27141 OLD U.S. 90 BOHOTA SPRINGS, FL

STAFF NO.  
20-07-13-02-00-000-0

PROJECT NO.  
20-07-13-02-00-000-0

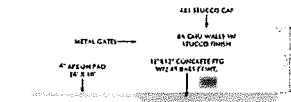
DATE  
0-11-20/2021

2ND FLOOR SEATING LAYOUT PLAN  
LIVING AREA

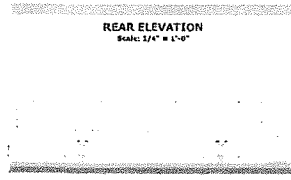
0-11-20/2021

1-102

SCALE IS ACCURATE ONLY WHEN PRINTED ON A 24" x 36" JOURNAL



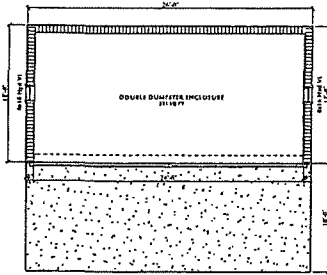
**SIDE ELEVATION**  
Scale: 1/4" = 1'-0"



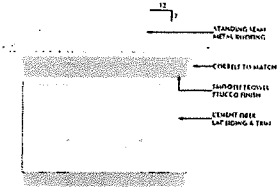
**REAR ELEVATION**  
Scale: 1/4" = 1'-0"



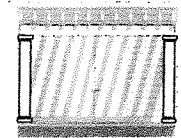
**FRONT ELEVATION**  
Scale: 1/4" = 1'-0"



**DUMPSTER ENCLOSURE PLAN**  
Scale: 1/4" = 1'-0"



**LEFT ELEVATION**  
Scale: 1/4" = 1'-0"



**RIGHT ELEVATION**  
Scale: 1/4" = 1'-0"

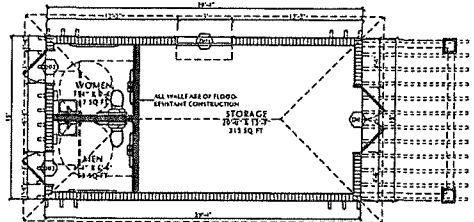


**REAR ELEVATION**  
Scale: 1/4" = 1'-0"



**FRONT ELEVATION**  
Scale: 1/4" = 1'-0"

- GENERAL NOTE:**
1. STRUCTURES SHALL BE DRY FLOOD PROOFED IN COMPLIANCE WITH ASCE 24-14 AND FEMA 417P TECHNICAL BULLETIN 3 AND 4.
  2. BUILDING STRUCTURAL ELEMENTS SHALL BE DESIGNED TO RESIST HYDROSTATIC AND HYDRODYNAMIC FORCES PER THE REQUIREMENTS OF ASCE 24-14 AND FEMA T.B. 3.
  3. ALL ELECTRIC SHALL BE ABOVE MINIMUM FLOOD ELEVATION OF 11.0' NAVD '84 AND IN COMPLIANCE WITH ASCE 24-14 AND FEMA T.B. 3.
  4. BUILDING PLUMBING SYSTEM SHALL BE IN COMPLIANCE WITH ASCE 24-14 AND FEMA T.B. 3. SUMP SYSTEM SHALL BE PROVIDED FOR DRY FLOOD PROOFED AREA.
  5. ALL ELECTRIC AND PLUMBING FACILITIES SERVING THE VENDOR TRUCKS SHALL BE IN COMPLIANCE WITH ASCE 24-14 AND FEMA TECHNICAL BULLETIN 3.



**ACCESSORY RESTROOM & STORAGE BUILDING PLAN**  
Scale: 1/4" = 1'-0"

PROJECT NAME: \_\_\_\_\_

DATE: \_\_\_\_\_

SCALE: \_\_\_\_\_

PHENIX ENGINEERING

PHENIX ENGINEERING, INC.  
1000 W. WASHINGTON AVENUE, SUITE 100  
PHOENIX, ARIZONA 85001  
TEL: 602.998.8888  
WWW.PHENIXENGINEERING.COM

PROJECT NO.: \_\_\_\_\_

DATE: \_\_\_\_\_

PROJECT TITLE: **ACCESSORY STRUCTURES**

DATE: 07/2021

AS-101